



Agenda

City of Charlevoix Planning Commission Regular Meeting

Monday, October 14, 2024 - 6:00 PM

Council Chambers, 210 State Street, Charlevoix, MI

- A. Call to Order/Pledge of Allegiance**
- B. Roll Call**
- C. Inquiry into Potential Conflicts of Interest**
- D. Approval of Agenda**
- E. Approval of the Minutes**
 - 1. Approval of Planning Commission minutes from September 9, 2024 meeting
- F. Call for Public Comment Not Related to Agenda Items**
- G. Public Hearings**
 - 1. Mixed Use District Ordinance Amendments
- H. New Business**
 - 1. Site Plan Approval for Duplex Condominium Development 1002 May Street
 - 2. Sign Lighting Discussion
 - 3. Rooftop Decks, Ground Decks and Patio Discussion
- I. Old Business**
- J. Staff Updates**
 - 1. Zoning Administrator Report
- K. Requests For Next Months Agenda or Research Items**
- L. Adjournment by 8:00 p.m. unless extended by a motion**

Persons with disabilities who need an accommodation to fully participate in these meetings should contact the City Clerk's Office at 231-547-3250 or by email clerk@charlevoixmi.gov. A 24-hour notice may be needed for certain accommodations. An attempt will be made to grant all reasonable accommodations requests.

City of Charlevoix
Planning Commission Regular Meeting Minutes
Monday, September 9, 2024 - 6:00 PM
Council Chambers, 210 State Street, Charlevoix, MI

A. Call to Order/Pledge of Allegiance

The meeting was called to order at 6:00 p.m. by Chair Muladore followed by the Pledge of Allegiance.

B. Roll Call

Chair: Jennifer Muladore
Members Present: Scott Beatty, Shelley Boehmer, Sherm Chamberlain, Toni Felter, John Kurtz, Maureen Radke
Members Absent: None
Staff Present: Jonathan Scheel, Director of Planning and Zoning

C. Inquiry into Potential Conflicts of Interest

D. Approval of Agenda

Motion by Member Kurtz, seconded by Member Beatty to approve the agenda as presented.
Motion carried by unanimous voice vote.

E. Approval of the Minutes

1. Minutes from August 12, 2024 Planning Commission Meeting

Motion by Member Felter, seconded by Member Boehmer to approve the minutes of August 12, 2024 as presented.

Motion carried by unanimous voice vote.

F. Call for Public Comment Not Related to Agenda Items

G. Public Hearings

1. Conditional Rezone of a portion of 743 Petoskey Avenue

Director Scheel reviewed the staff report, findings of fact and explained the conditional rezoning request for property located at 743 Petoskey Avenue from Multi-Family (R-4) to General Commercial (GC). Mr. Scheel stated the project meets setbacks and height requirements and that all aspects must meet general commercial zoning.

Chair Muladore opened the public hearing at 6:06 p.m.

Shirley Gibson asked to minimize the impact in a heavy residential area. Ms. Gibson stated the project met the Master Plan, commercial as well as residential on a main street, but not in a neighborhood.

Scott Leader questioned why he did not receive a public hearing notice and Director Scheel explained the process.

Kristin Leader, 650 Division Street, stated that she lived within 100' from the site and didn't receive the letter. Ms. Leader stated her traffic concerns and she questioned the noise level.

The public hearing was closed at 6:12 p.m.

Further discussion followed among the Planning Commission members, staff and the applicants.

Motion by Member Kurtz, seconded by Member Boehmer to table this item until later in the meeting.

Motion passed by unanimous voice vote.

2. Proposed changes to 153.172 Lighting of the City of Charlevoix Zoning Ordinance

Director Scheel explained the proposed changes to the lighting ordinance which was intended to more effectively eliminate glare, protect the night sky, and eliminate light pollution.

The public hearing was opened and closed. There were no public comments.

Motion by Member Beatty, seconded by Member Boehmer to send the proposed lighting ordinance to the City Attorney and City Council with recommendation of approval.

Motion carried by unanimous voice vote.

H. New Business

1. Site Plan Review 743 Petoskey Ave Small Brewery

Director Scheel reviewed the standards for site plan approval (Section 153.237, Zoning Ordinance). Mr. Scheel began a review of each of the standards. Mr. Scheel answered questions from the Commission.

(1) Traffic circulation.

(a) Site plan complies with requirements set forth in the Zoning Ordinance.

(b) Vehicular and pedestrian circulation.

- Vehicular and pedestrian circulation system is well-defined, provides safe, convenient, and uncontested.
- Parking spaces - 14 total
- The commercial use would require 12 parking spaces for both employees and patrons. Zoning requirement is 1 per employee (assumed 3), plus 1 per 300 sq ft (6 required). The current site plan shows 14 total parking spaces.

Director Scheel stated the site was very self-limiting and the R-4 property behind the brewery should not become overflow parking. The Commission could request some type of barrier between the two zoning districts, which would be a condition of approval.

Member Boehmer questioned if there was going to be a sidewalk buffer area between the street and the seating area. Director Scheel stated that there was an existing sidewalk, and he also spoke with the applicant that right now there were two (2) entrances and fewer curb cuts on highways was safer, and the applicants agreed to block off the circular drive out front and only use that for deliveries.

(c) Walkways from parking areas to building entrances.

1. Proposed walkways are designed to safely take people from the parking lot to the building.
2. Proposed walkways are designed to safely separate people from moving vehicles.
3. All walkways will be compliant with local, state and federal codes with no obstruction.
4. Walkways are designed with Michigan Barrier Free Design Standards.
5. Walkways are clearly distinguished from parking and driving areas. Final materials are determined to provide low impact construction and improved storm water runoff for the property.

(2) Storm water.

- While the current site has been status quo for decades, the municipal storm water system on Petoskey Ave., any and all upgrades will take on low impact solutions such as rain gardens, swales and natural elements to provide a green storm water infrastructure.

(3) Snow storage.

- Currently, there is sufficient space on the east and west open spaces for snow storage.

(4) Landscaping.

- There will be minimal impact on landscaping on the front parcel. No trees will be removed, and very limited grading will take place to ensure proper drainage for water runoff. Any landscaping improvements will have a low impact with natural plantings intended to improve the overall functionality, runoff collection and visual presentation.

(5) Screening.

- Partial screening currently exists along the adjacent property to the west with a carport and 8 feet fencing. Furthermore, the adjacent property to the east is lined with shrubbery, small trees and physical structures ranging in height from 8-25 feet.
- All future use of screening through natural plantings will be prioritized to lower the construction impact and industrial feel of the current commercial parcel.

(6) Lighting.

- Currently, the property has limited exterior lighting except for the streetlamp location on US-31, SE the front corner of the lot. Additional exterior lighting plan will be incorporated with reduction in light pollution as priority and reduction of lighting during non-business hours through down lighting, low light bulbs and sensors.

(7) Utility service.

- Current utility service is underground and will remain consistent with local codes and ordinances.

(8) Exterior uses.

- All exterior uses listed above will be designed to have minimum negative impact on the adjacent properties and can be screened, if reasonably necessary, to ensure compatibility with surrounding properties.

(9) Emergency access.

- Current building is readily accessible to emergency vehicles.

(10) Water and sewer.

- Water & Sewer is existing Municipal supply.

(11) Signs.

- Signage will be located in approved, permitted location in compliance with local ordinances.

Chair Muladore stated that according to the Planning & Zoning Enabling Act on a site plan review if they determine that the site plan meets the standards as were just read then the Commission must approve it.

Motion by Member Beatty, seconded by Member Felter to approve with conditions SPR 2024-03 based on specific findings of fact that the application does meet the review criteria in Section 153.257 as read by Director Scheel.

Chair Muladore stated that the conditions would be:

- That a fence or buffer following Section 153.171 of the Zoning Ordinance to protect the neighboring property to the north and east from traffic, lights, and impact as administered by Director Scheel.

- To ensure that access to the remaining R-4 portion of the property (residential area) will be blocked and not allowed to be used for parking or event overflow.

Member Radke questioned the possibility of access from the rear of the property. Director Scheel stated that because the applicants are working closely with the owner of the property, they would get permission from the owner of the entire property to both add signage that vehicles can be towed, then both the owner and the police could tow illegally parked vehicles.

Director Scheel stated that now the Commission needed to re-open the discussion on the conditional rezone of the property. Mr. Scheel gave a quick review of the history of the property. Mr. Scheel stated the Commission needed to go through similar Findings of Fact for the conditional rezoning and proceeded to review Section 153.007, Conditional Zoning of the Zoning Code.

Motion by Member Radke, seconded by Member Felter to recommend to the City Council that they approve SPR-2024-03 for a conditional rezone of the property located at 743 Petoskey Avenue from Multi-Family (R-4) to General Commercial (GC) in accordance with Subsection (D)(1) of Section 153.007 Conditional Rezoning based on specific findings of fact that the application does meet the review criteria in Section 153.237.

Motion carried by unanimous voice vote.

I. Old Business

1. Site Plan Review of 800 State Street Religious Facility (tabled from August 12, 2024 meeting)

Chair Muladore stated the Commission was resuming the tabled discussion on the site plan for the last meeting. Director Scheel stated the Commission requested specific information which included incorporation documents, building changes to make the structure more appropriate for a residential neighborhood, shared parking exhibit, and revised parking easement.

Director Scheel stated the building's elevations were changed. Director Scheel recommended that the trees be planted on the site be larger than what was required, possibly 4.0 diameter at breast height (dbh) instead of 2.5 dbh. Member Beatty stated he did not find the west elevation to be harmonious with the neighborhood.

Aaron Nordman, Performance Engineers, Inc. stated the applicant had changed the siding on the dormers to a shake siding to break up the walls, and in reference to the trees, there are overhead power lines on the west elevation side. Mr. Nordman stated he could understand adding a larger tree on the Garfield Street side but across from the site is the Joppa House, which also owns the adjacent lot, so there is not a traditional home across the street from the proposed building. Mr. Nordman stated the Commission had also asked about the overlapping use for parking needs, and he did include a schedule for the church services and the shared use agreement has a restriction that gives priority to the parish. Director Scheel stated 11 of the required parking spaces are actually new spaces, not existing spots.

Member Boehmer stated her concern was safety as there was no proposed sidewalk on the State Street side. Member Felter stated no one else on that side of the street has a sidewalk on

State Street, and it would be unfair to ask them to add a sidewalk. Mr. Nordman stated St. Mary's fence actually encroaches onto the right-of-way, so a sidewalk would have to stop at that location. Chair Muladore asked for a show of hands of who thinks that a sidewalk should be required within the right-of-way along State Street for the length of the project site. The informal vote was 4 to 3 to not require a sidewalk on State Street.

Director Scheel stated the applicant had provided the Articles of Incorporation and he had also submitted the parking agreement to the City Attorney. Mr. Scheel reviewed the changes he had made to the Findings of Fact since the last meeting.

The public hearing was opened.

Shirley Gibson stated she did not understand the applicant constantly mentioning the Joppa House which was a residential structure with residents living there and is located in a neighborhood. Ms. Gibson stated the proposed building is very unsightly. Ms. Gibson requested the Commission deny this project as it does not meet the standards and the findings of fact as it is are not harmonious to the character of the neighborhood.

The public hearing was closed.

Discussion followed regarding federal regulations related to religious institutions. Member Beatty stated that religious institutions are not defined in the statute and that a church has no greater rights than a citizen who is building a house or an office.

Motion by Member Felter, seconded by Member Chamberlain to approve Project 2022-1 SPA with conditions, based on specific findings of fact that prove the project does meet the review standards in Section 153.235. The conditions would be to require the maximum tree caliper of 4" for the north elevation and require approval from the City Attorney for the joint parking agreement.

Yeas: Chamberlain, Felter, Kurtz, Muladore

Nays: Beatty, Boehmer, Radke

Absent: None

Motion carried.

2. Commercial Mixed Use Standards

Motion by Member Boehmer, seconded by Member Felter to extend the meeting for 30 minutes beyond the 8:00 p.m. deadline.

Motion carried by unanimous voice vote.

Director Scheel began a review of the most recent changes to the proposed Commercial Mixed Use Standards. Mr. Scheel stated the Commission had the two uses they discussed, which included adding indoor athletic courts and public parking, parking lots/structures as a principal use. Mr. Scheel stated the Commission had also discussed minimum lot size requirements for the commercial mixed use district and the language included in the proposed regulations is similar to the Commercial Mixed Use corridor regulations that were recently approved. Mr. Scheel stated the lot size was not part of that discussion, but the Commission had talked about some averages and 6,000 sq. ft. is close to the median number.

Motion by Member Chamberlain, seconded by Member Boehmer to schedule a public hearing on the proposed changes to the Commercial Mixed Use Standards at the October 14, 2024 meeting.

Motion carried by unanimous voice vote.

J. Staff Updates

1. Zoning Administrator Report

Director Scheel reviewed his report with the Commission.

K. Requests For Next Months Agenda or Research Items

L. Adjournment by 8:00 p.m. unless extended by a motion

Chair Muladore adjourned the meeting at 8:14 p.m.

Sarah J. Dvoracek/fgm City Clerk

Jennifer Muladore Chair

Charlevoix Planning Commission

Public Hearings

Title: Mixed Use District Ordinance Amendments

Date: October 14, 2024

Presented By: Jonathan Scheel, Zoning Administrator

Background:

The Planning Commission recently approved a Mixed Use Corridor Overlay Ordinance. The new standards made changes to allowed uses, minimum lot size and setbacks in the Commercial Mixed Use Zoning District. These proposed Mixed Use District proposed changes will align the district standards to the corridor standards. The other proposed change is to add two additional allowed uses. These are adding Indoor recreational facilities and public parking.

Recommendation:

Take public comment, discuss, make appropriate changes. Motion to approve with changes.

Attachments:

1. Mixed Use District changes

Recreation facility/Athletic courts Indoor

Our current Zoning Ordinance Table 153.086 allows indoor recreation facilities in GC, CBD, and Industrial. The ordinance also allows Outdoor recreation facilities in Scenic Reserve, Commercial Mixed Use, and Industrial by a Special Use Permit. It has been asked that indoor recreational facilities be allowed in CM. While having this discussion it might be the time to also add outdoor and indoor recreational facilities as a use allowed in the Public District. The City currently has multiple recreational facilities in city parks throughout the city.

Public garages, parking lots/structures as a principal use

Table 153.086 allows parking lots as a principle use only in the Central Business District and the Public District of the city. 153.186 does not require off-street parking in the Central Business District. Because of this, there is a need for parking spaces in some individual instances (because of legal nonconforming businesses and other changes)

Our current Zoning Ordinance 153.187 (G) states minimum parking space requirements shall not be exceeded unless approved by the Planning Commission based on documented evidence that additional spaces are required to accommodate parking demand on a typical day.

It is the goal of the City to minimize hard surfaces throughout the city for protection of our waters, lower our cost to provide storm drainage systems and to generally beautify the city. With this in mind it makes sense to allow unused or under-utilized parking areas to be shared for other uses or properties. The Zoning Ordinance allows and promotes shared parking agreements. With this in mind, allowing excess parking to be “rented” to others, would free up the need for additional parking lots, especially in areas in the city with the most need for additional parking.

This could be done with a simple permitting process where the Zoning Administrator would review the existing business, calculate the required parking per the current Zoning Ordinance and then permit any extra parking to be used as “rental parking”.

Sample language could be;

153.187 (I) Any additional parking spaces beyond the required minimum/maximum on a legal nonconforming nonresidential property could be shared, leased or allowed to be used by others with a permit issued by the Zoning Administrator.

This following language is in our recent CMU overlay District Ordinance

Minimum Lot size: 6,000 sq ft.

Setbacks:

Front Arterial street 15', Local street 15'

(1) Front and street side setbacks may be reduced to 10 feet with design review when the reduction improves the overall site design, design of the building or better integrates the building with its site and surroundings and a 10-foot-wide sidewalk is provided.

(2) Street side setbacks may be reduced to 10 feet for 2 story buildings and 10 feet for 3 story buildings with design review when the reduction improves the overall site design, design of the building or better integrates the building with its site and surroundings and a 6-foot-wide sidewalk is provided.

(3) Commercial and mixed-use development on land that abuts a residential district will be designed and constructed, and will be operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity; will be compatible with adjacent uses of land; and will not change the essential character of the area in which it is proposed;

4. Build-to Line. Buildings shall be constructed at the street frontage or required setback line (the "build-to" line) for at least 60 percent of the building frontage. Portions of the area between the building and lot line shall be paved so that it functions as a wider public sidewalk and public areas. This requirement may be modified or waived by the Planning Commission upon finding that:

- a. Substantial landscaping will be located between the build-to line and ground floor residential units to soften visual impact of buildings;
- b. Entry courtyards, plazas, entries, or outdoor eating and display areas will be located between the build-to line and building, provided that the buildings will be built to the edge of the courtyard, plaza, or outdoor dining area; or
- c. The building will incorporate an alternative entrance design that will create a welcoming entry feature facing the street.

Side and rear setbacks: Zero lot line commercial, residential existing R-1 and R-2 regulations

Add adjacent to residential zero if maintenance agreement is completed with residential property owner or 6 feet if not.

5. Required Side and Rear Yards for Residential Uses. In order to provide light and air for residential units, the following minimum setbacks apply to any building wall containing windows for residential units and facing an interior side or rear yard.

- a. For any wall containing windows, a setback of at least 5 feet shall be provided.
- b. For any wall containing bedroom windows, a setback of at least 10 feet shall be provided.
- c. For any wall containing a living room or other primary room windows, a setback of at least 10 feet shall be provided.
- d. The required setbacks apply to that portion of the building wall containing a window and extending three feet on either side of the window.

Reviewing the above regulations that are included in the recent overlay district ordinance changes that includes all CM parcels south of the bridge and the eight parcels in the 100 block of Michigan Ave, it might behoove us to adopt similar or the same regulations for Table 153.087 Dimensional Requirements, Non-Residential and Mixed Use Districts.

The only CM parcel that the CMU Corridor regulations didn't apply to was business The Back Lot on Ferry Ave. I don't believe changing the regulations to the above would negatively affect that parcel.

Charlevoix Planning Commission

New Business

Title: Site Plan Approval for Duplex Condominium Development 1002 May Street

Date: October 14, 2024

Presented By: Jonathan Scheel, Zoning Administrator

Background:

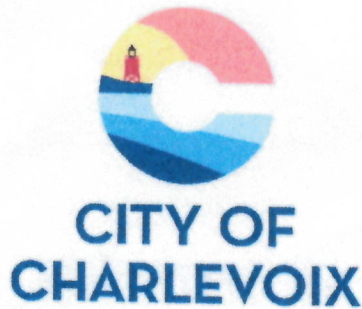
A site condominium duplex is being proposed for a vacant parcel at 1002 May Street. This is a large parcel about 3 times the size of a minimum R-1 lot). The proposal is for two stacked duplexes (4 units) and one ADU. The development will have one driveway off of May Street serving all units. The neighborhood has a mix of single family homes, at least one duplex and multiple large apartment complexes. The R-1 Zoning District allows single family, duplexes and single multifamily homes.

Recommendation:

Review per ordinance standards. Motion to approve, approve with conditions, deny or table with a request for additional information.

Attachments:

1. 1002 may application
2. 24021 BELLA CASA REV00-half size SET
3. BELLA CASA CVX_10072024
4. 20241005_201937
5. 20241005_202003
6. 20241005_201921
7. Level B Site Plan Review 03-2024



LEVEL B SITE PLAN APPLICATION

BELLACASA BUILDERS, LLC. 1002 MAY STREET
 Applicant (MATT GIULIANI - CONTACT) Address of subject property
5426 WYNDAM LANE, BRIGHTON, MI 48116
 Address (City/State/Zip)

Property Owner Name (If different than applicant)

Property Owner Address (City/State/Zip) (If different than address of subject property)

Property Owner Phone (734) 341-8123 Email mguliani@manslumber.com

ENGINEER: BOYNE ENGINEERING AND DESIGN - CARRIE MAY, P.E.
 Agent Phone (231) 499-8361 Email boyneeng@torchlake.com

Zoning of subject property: B1 Tax ID: 15-052-335-055-00

Current use of property (example: single family, apartments, commercial, industrial, etc.):
VACANT

Proposed use: INFILL SITE CONDO WITH 2 STACKED DUPLEXES (1 WITH ADU)

Dimensions of parcel: 91' x 290' Parcel size: 23,405 0.54
 Square feet Acres

Please describe the type of construction (example: 20' x 20' addition to the rear of the building for storage.):

TWO IDENTICAL 26' x 66' STACKED DUPLEXES WITH
ATTACHED 29 1/2' x 40' - 2 UNIT GARAGES. 1 OF THE

2 DUPLEXES TO HAVE A 29'1/2' x 30' ACCESSORY
ADU/GARAGE

Dimensions of proposed construction, excluding eaves: ~~2 STACKED DUPLEXES: 20' x 60'~~
~~W/ ATTACHED GARAGES: 29.5' x 40'~~
~~1 ADU: 29.5' x 30'~~

Total square footage of proposed construction: EXTERIOR FOOTPRINT: 6,677 SF

Height of proposed construction to the top of the roof: 25' - 3"

Height of proposed construction to the midpoint of the roof, for gabled roof: 23' - 5"

Roof type (example: gable, hip, flat, etc.): HIP

Square footage of all impervious surfaces (please show all on site plan: paved driveways, sidewalks, patios, etc.): 11,483 SF

Requested date to begin construction if known: UPON APPROVAL

AFFIDAVIT

I the undersigned, do hereby make application to the City of Charlevoix for approval of the attached Site Plan which has been drawn in accordance with the City of Charlevoix Zoning Ordinance. I certify that the property owner has authorized the proposed work, and that I have been empowered by the owner to make this application as his/her selected agent. I agree the statements made in the above application and associated documents are true, and if found not to be true, the approval of the site plan may be void. I also agree to comply with the conditions and regulations required by the approved development plan. Further, I agree that if the site plan is approved, it is approved with the understanding that the individual(s) or organization(s) applying for that site plan (or those individual(s) or organization(s) represented by the applicant) will comply with all applicable sections of the City of Charlevoix Zoning Ordinance. For purposes of site inspection, I also agree to notify the City of Charlevoix Zoning Administrator when locations of lot lines and proposed structures are located and staked on the ground. I also agree to give permission for officials of the City of Charlevoix, the County, and the State of Michigan to enter the property subject to this permit application for purposes of inspection. I understand that the City may impose conditions of approval and that the conditions must be met by the specific times as defined in the Decision and Order. Finally, I understand that this is a site plan application, and if approved, cannot be implemented until applicant has applied for and the City has issued a zoning permit.

Property Owner Signature or Authorized Agent: _____

Date: _____

9-26-24

BELLA CASA BUILDERS, LLC
1002 MAY STREET DUPLEXES

PROJECT NARRATIVE

SEPTEMBER 26, 2024

BOYNE ENGINEERING AND DESIGN
JOB # 24021

MAY STREET DUPLEXES – PROJECT NARRATIVE

Project Description:

Bella Casa Builders LLC is proposing a Site Condominium Infill Development on the currently vacant lot at 1002 May Street in the City of Charlevoix. The lot has a Tax ID of 052-335-055-00 and is 0.54 acres in size. The property is zoned R1 – Low Density Family.

The proposed plan includes two site condo units, one consisting of a stacked duplex with attached garages and one consisting of a stacked duplex with attached garages and an accessory ADU. The two stacked duplexes are mirrored identical designs which consist of 26' x 66' stacked dwellings with attached 29.5' x 40' garages divided in half and including deck spaces for each unit above the first-floor garage bays.

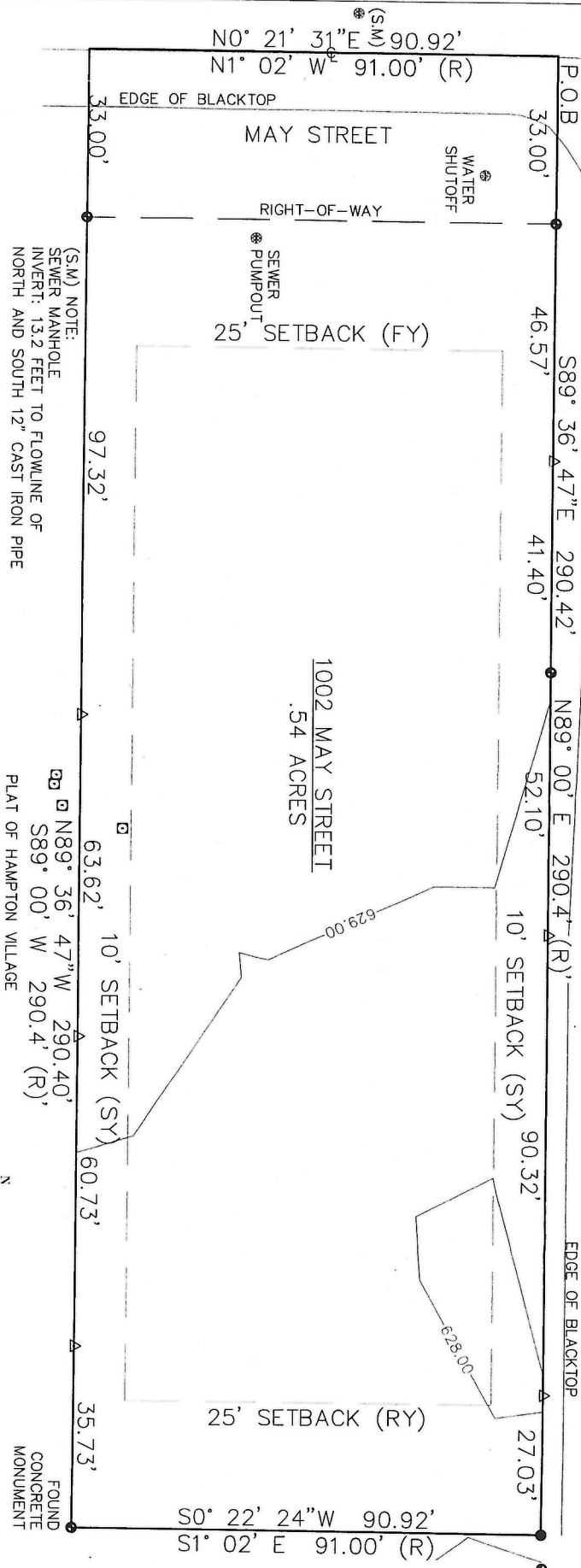
The Engineered Site Plan includes the layout and details of the buildings, the paved drives, the parking, the sidewalks, the stormwater features, the planned water and sewer utilities, and the landscaping plan.

TOPOGRAPHIC SURVEY OF 1002 MAY STREET, SECTION 26, T34N
 R8W, CITY OF CHARLEVOIX, CHARLEVOIX COUNTY, MICHIGAN
 FOR: BELLA CASA BUILDERS, LLC
 ORDERED BY: MATT GIULIANI
 DATE: JUNE 26, 2024

PLAT OF EATON'S ADDITION

MARANATHA LANE.

SHEET 1 OF 1

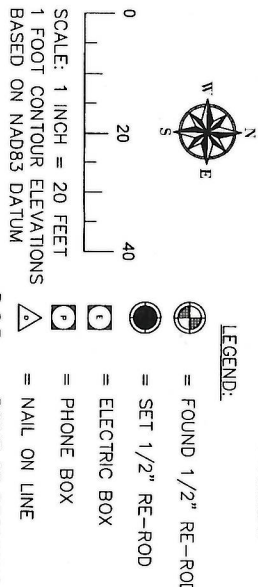


DESCRIPTION USED TO SURVEY PROPERTY (RECORDED IN LIBER 1319, PAGE 789).

PROPERTY SITUATED IN THE CITY OF CHARLEVOIX, CHARLEVOIX COUNTY, MICHIGAN DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF EATON'S ADDITION TO THE VILLAGE (NOW CITY) OF CHARLEVOIX, ACCORDING TO THE PLAT RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR CHARLEVOIX COUNTY, MICHIGAN, WHICH POINT IS ON THE WEST 1/8 LINE OF SECTION 35, TOWN 34 NORTH, RANGE 8 WEST; THENCE NORTH 89° 00' 00" EAST ALONG THE SOUTH LINE OF SAID EATON'S ADDITION 290.4 FEET TO AN IRON STAKE; THENCE SOUTH 1° 02' EAST PARALLEL WITH SAID WEST 1/8 LINE 91.0 FEET TO AN IRON STAKE; THENCE SOUTH 89° 00' WEST, PARALLEL WITH THE SOUTH LINE OF SAID EATON'S ADDITION, 290.4 FEET TO SAID WEST 1/8 LINE; THENCE NORTH 1° 02' WEST ALONG SAID 1/8 LINE 91.0 FEET TO THE POINT OF BEGINNING; BEING A PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 35, TOWN 34 NORTH, RANGE 8 WEST.

PREPARED BY:

NORTH STAR LAND SURVEYING, INC.
 THOMAS D. SWENOR, P.S. 37282
 2202 MITCHELL PARK DRIVE, SUITE 001
 PETOSKEY, MICHIGAN 49770



NOTE:
 PRIOR SKETCH OF PROPERTY, 1002 MAY STREET, BY BENCHMARK ENGINEERING INC., DATED NOV. 19, 2021, BEING JOB 21-606.

GENERAL NOTES

- THIS CONSTRUCTION PROJECT SHALL AT ALL TIMES AND IN ALL SITUATIONS PROCEED IN A MANNER CONSISTENT WITH THE REQUIREMENTS OF THESE PLANS, THE CITY OF CHARLEVOIX CODE OF ORDINANCES, THE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS OF THE NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT, 1994 PA 451, AND ALL OTHER APPLICABLE RULES, REGULATIONS AND LAWS OF ANY OTHER AUTHORITY WITH JURISDICTION TO GOVERN SUCH CONSTRUCTION. THE CONTRACTOR SHALL KEEP A COPY OF THOSE REQUIREMENTS AND ALL CONSTRUCTION DOCUMENTS RELATED TO THIS PROJECT ON THE PROJECT AT ALL TIME AND REFERENCE SHALL BE MADE TO THEM FOR PROPER MATERIALS, METHODS, ETC. REGARDING CONSTRUCTION IMPROVEMENTS.
- THE CONTRACTOR SHALL CHECK THESE PLANS AND FIELD VERIFY EXISTING CONDITIONS PRIOR TO STARTING WORK ON ANY SEGMENT OF THE PROJECT. IF THE CONTRACTOR HAS ANY QUESTIONS OR SUSPECTS THERE IS AN ERROR OR OMISSION WITHIN THE PLANS OR THE CONSTRUCTION STAKES, HE OR SHE SHALL NOT PROCEED UNTIL THE ENGINEER OR HIS OR HER REPRESENTATIVE HAS BEEN FULLY NOTIFIED, HAS RESPONDED, AND HAS SPECIFICALLY STATED THE CONTRACTOR MAY PROCEED.
- EXISTING PUBLIC UTILITIES AND UNDERGROUND STRUCTURES SUCH AS PIPE LINES, ELECTRIC CONDUITS, SEWER AND WATER ARE IDENTIFIED BY THE BEST KNOWLEDGE OF THE SURVEYOR, HOWEVER, NEITHER THE CORRECTNESS NOR THE COMPLETENESS OF SUCH INFORMATION IS GUARANTEED. PRIOR TO THE START OF ANY WORK ON THE PROJECT, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND MISS DIG:(800) 482-7171. THE CONTRACTOR SHALL ENSURE THAT THE LOCATIONS OF ALL UTILITIES WITHIN THE VICINITY OF THE PROJECT ARE STAKED AND IDENTIFIED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURES, AND SHALL REPAIR, AT HIS OR HER COST, ANY DAMAGE TO THOSE UTILITIES AND STRUCTURES. UTILITY POLES, ANCHORING CABLES AND UTILITY FOUNDATIONS SHALL NOT BE DISTURBED OR UNDERMINED. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY AND PROVIDE PROPER SUPPORT OF SUCH UTILITIES IN THE VICINITY OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THIS OR ADJACENT PROPERTY, AND FOR INJURY TO ANY PERSON, OCCURRING DURING OR AS A RESULT OF THE CONSTRUCTION PROCESS, WHETHER SUCH DAMAGE OR INJURY RESULTS FROM ANY ACTION OR LACK OF ACTION BY PRINCIPALS OF THE COMPANY, EMPLOYEES, SUBCONTRACTORS, OR SUPPLIERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY SAFETY DEVICES AND FOLLOW ALL ADVISABLE SAFETY PRACTICES NECESSARY TO INSURE THE SAFETY OF ALL PERSONS DURING THE CONSTRUCTION PROCESS. NEITHER THE OWNER OR THE ENGINEER ASSUME ANY LIABILITY FOR MATTERS RELATING TO SAFETY AT THE CONSTRUCTION SITE.
- ANY DAMAGE TO IMPROVEMENTS NOT CAUSED BY THE OWNER, PRIOR TO FINAL PROJECT ACCEPTANCE BY THE ZONING ADMINISTRATOR AND THE OWNER, SHALL BE REPAIRED OR REPLACED AS NECESSARY TO CONFORM WITH THE DESIGN AT THE EXPENSE OF THE CONTRACTOR.
- ALL STUMPS, LARGE ROCKS, CONCRETE, SCRAP MATERIALS, TRASH AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- DURING CONSTRUCTION EXPOSE THE MINIMUM AREA OF SOIL FOR THE MINIMUM TIME POSSIBLE. SEE SOIL EROSION AND STORMWATER CONTROL NOTES.
- THROUGH TRAFFIC ON ADJACENT ROADWAYS SHALL NOT BE INTERRUPTED WITHOUT EXPLICIT PERMISSION FROM, AND COORDINATION WITH THE CITY OF CHARLEVOIX DPW. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLEVOIX DPW CONSTRUCTION SPECIFICATIONS AND PERMIT REQUIREMENTS. PAVEMENT CUTS ARE TO BE MADE WITH A SAW, IMMEDIATELY PRIOR TO PAVING.
- ALL WORK WITHIN EASEMENTS SHALL BE COORDINATED WITH THE EASEMENT HOLDER AND BE IN ACCORDANCE WITH THE LIMITATIONS AND RESTRICTIONS OF THOSE EASEMENTS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE ON-SITE SUPERVISION OF THE WORK AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THERE SHALL BE ONE DESIGNATED ON-SITE SUPERVISOR AVAILABLE WHENEVER CONSTRUCTION IS UNDERWAY WHO HAS THE AUTHORITY TO ACT ON BEHALF OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY NOTICES, OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES ASSOCIATED WITH SUCCESSFULLY COMPLETING THE CONSTRUCTION PROCESS, INCLUDING ALL PUBLIC INSPECTION FEES.

** ALL ELEVATIONS ARE BASED ON:
NAD 83 DATUM

PLANS FOR:

1002 MAY STREET DUPLEXES
1002 MAY ST
CITY OF CHARLEVOIX



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION

DESCRIPTION USED TO SURVEY PROPERTY (RECORDED IN LIBER 1319, PAGE 789).

PROPERTY SITUATED IN THE CITY OF CHARLEVOIX, CHARLEVOIX COUNTY, MICHIGAN DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF EATON'S ADDITION TO THE VILLAGE (NOW CITY) OF CHARLEVOIX, ACCORDING TO THE PLAT RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR CHARLEVOIX COUNTY, MICHIGAN, WHICH POINT IS ON THE WEST 1/8 LINE OF SECTION 35, TOWN 34 NORTH, RANGE 8 WEST; THENCE NORTH 89° 00' EAST ALONG THE SOUTH LINE OF SAID EATON'S ADDITION 290.4 FEET TO AN IRON STAKE; THENCE SOUTH 1° 02' EAST PARALLEL WITH SAID WEST 1/8 LINE 91.0 FEET TO AN IRON STAKE; THENCE SOUTH 89° 00' WEST, PARALLEL WITH THE SOUTH LINE OF SAID EATON'S ADDITION, 290.4 FEET TO SAID WEST 1/8 LINE; THENCE NORTH 1° 02' WEST ALONG SAID 1/8 LINE 91.0 FEET TO THE POINT OF BEGINNING; BEING A PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 35, TOWN 34 NORTH, RANGE 8 WEST.

Prepared By:

North Star Land Surveying, Inc.
Thomas D. Swenor, P.S. 37282
2202 Mitchell Park Drive, Suite 001
Petoskey, Michigan 49770

INDEX OF DRAWINGS:

C1.0	COVER AND GENERAL NOTES
C1.1	GENERAL SITE PLAN
C1.2	GRADING AND DRAINAGE PLAN
C1.3	DETAILS

OWNER / APPLICANT

MATT GIULIANI
BELLA CASA BUILDERS LLC
5426 WYNDAM LANE
BRIGHTON, MI 48116
(734) 341-8123

ENGINEER

BOYNE ENGINEERING AND DESIGN
PO BOX 94
BOYNE CITY, MI 49712
CONTACT: CARRIE MAY, P.E.
PROJECT ENGINEER
PHONE: (231) 499-8361

SURVEYOR

NORTH STAR LAND SURVEYING, INC.
2202 MITCHELL PARK DRIVE, STE. 001
PETOSKEY, MI 49770
CONTACT: THOMAS D. SWENOR, PS 37282
PHONE: (231) 347-9949



EMERGENCY SERVICES

EMERGENCY CALLS
AMBULANCE SERVICE / POLICE / FIRE

911

Charlevoix Fire Department: (231) 675-5600
Charlevoix Police Department: (231) 547-3258
Charlevoix Electric Department: (231) 547-3273
Michigan State Police: (231) 347-8101
MISS DIG Telephone: (800) 482-7171

UTILITY AGENCIES

CONSUMERS ENERGY
Telephone: 800.477.5050

DTE ENERGY
Telephone: 800.533.6220

CHARTER COMMUNICATIONS
Telephone: 231.463.1920

AT&T MICHIGAN
Telephone: 231.348.8013

PUBLIC AUTHORITIES

CITY OF CHARLEVOIX ZONING
Telephone: (231) 547-3265

CITY OF CHARLEVOIX DPW
Telephone: (231) 547-3276

PLAN APPROVAL

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF CHARLEVOIX WITH THE EXCEPTIONS, CONDITIONS AND MODIFICATIONS INDICATED BY ME ON THIS PLAN SET

CHARLEVOIX ZONING ADMINISTRATOR

DATE



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REVISIONS

NO.	DATE	APP'D	ISSUE	REVISION DESCRIPTION

COVER AND GENERAL NOTES

ORIGINAL ISSUE DATE:
09/26/24

SCALE:

BED JOB NO. 24021

DRAWING NUMBER

C1.0

PARKING
SPACES REQUIRED FOR SINGLE
FAMILY AND 2 FAMILY DWELLINGS:
NUMBER OF DWELLING UNITS
4 DUPLEX UNITS + 1 ADU = 5 DWELLINGS
PARKING SPACES REQUIRED:
5 DWELLINGS * 2 SP = 10 SPACES
PARKING SPACES PROVIDED:
10 SPACES

LIGHTING
EA GARAGE TO HAVE 1 EA 100W EQUIVALENT LIGHT
FIXTURES TO BE SHIELDED VARIETY WITH
DOWN-LIGHTING TO BE DIRECTED ON-SITE ONLY.

ZONING

CITY OF CHARLEVOIX ZONING ORDINANCE AMENDED THROUGH 04/01/24						
ZONING DISTRICT	MIN LOT PER UNIT	MAX HEIGHT/ STORIES	YARD SETBACKS (FT)			MAX BUILDING COVERAGE
			FRONT	SIDE	REAR	
R1 LOW DENSITY FAMILY	9,000 SF	26 TO MID-RISE	15	10	10	40%-50%

* 50% COVERAGE ALLOWED WITH LANDSCAPING PER 153.171(A,B,E)
* PVIOUS PAVEMENT NOT TO EXCEED 25% OF 50% MAXIMUM COVERAGE ALLOWED 153.152(B)

COVERAGE

LOT COVERAGE (*TOTAL NET LOT AREA = 23,405 SF)						
OVERALL	BUILDINGS	PAVING	SIDEWALKS	PERVIOUS SHOULDERS	TOTAL IMP	COVERAGE
SF	SF	SF	SF	SF	SF	%
23405	6677	4140	570	655	11387	48.7

* 50% COVERAGE ALLOWED WITH LANDSCAPING PER 153.171(A,B,E)
* PVIOUS PAVEMENT NOT TO EXCEED 25% OF 50% MAXIMUM
PERVIOUS DEDUCTED COVERAGE ALLOWED = 0.25 * 0.5 * 2,3405 SF = 2,925.6 SF 153.152(B)

LEGEND

- PROPERTY LINE
- SETBACK
- EASEMENT
- RIGHT OF WAY
- ROADWAY CENTERLINE
- EDGE OF PAVEMENT
- STORMWATER FLOW
- LIMIT OF DISTURBANCE
- EX PAVING / GRAVEL
- SILT FENCE
- EXISTING 10' CONTOUR LINE
- EXISTING 2' CONTOUR LINE
- PROPOSED 10' CONTOUR LINE
- PROPOSED 2' CONTOUR LINE
- WATER SERVICE LEAD
- SEWER SERVICE LEAD

SYMBOLS

- BENCHMARK
- SURVEY MON - SET IRON
- SURVEY MON - FOUND IRON
- FLOW DIRECTION
- SIGN
- MAILBOX
- WATER CURB STOP
- SANITARY CLEAN OUT
- EXISTING SANITARY MH
- EXISTING GAS
- EXISTING PHONE BOX
- EXISTING ELECTRIC SERVICE
- EXISTING POWER POLE
- EX WATER CURB STOP
- EX SANITARY CLEAN OUT
- SOIL TEST HOLE

REVISIONS

NO.	DATE	APP'D	ISSUE / REVISION DESCRIPTION
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OVERALL SITE PLAN

ORIGINAL ISSUE DATE:	09/26/24
SCALE:	
BED JOB NO.	24021
DRAWING NUMBER	

C1.1

SOIL EROSION AND STORM WATER CONTROL NOTES

- THE CONTRACTOR IS ADVISED THAT ALL SOIL EROSION MEASURES AND STORMWATER FACILITIES SHALL BE CONSTRUCTED AT THE EARLIEST FEASIBLE SCHEDULE. NO OTHER CONSTRUCTION ACTIVITIES SHALL PROCEED WHICH DO NOT PHYSICALLY DRAIN TO THESE FACILITIES UNLESS ADDITIONAL TEMPORARY FACILITIES ARE INSTALLED. PRIOR TO ACCEPTANCE OF THE PROJECT AS COMPLETE, ALL PERMANENT STORMWATER FACILITIES USED DURING CONSTRUCTION SHALL BE RESTORED TO OPERATE IN THEIR DESIGNED CONDITION AT NO ADDITIONAL COST TO THE PROJECT.
- INSTALLATION AND MAINTENANCE OF TEMPORARY SOIL EROSION AND STORM WATER CONTROL MEASURES TO CONTROL RUNOFF FROM CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL PROTECT AREAS ADJACENT TO THE PROPERTY FROM ACCELERATED EROSION AND SEDIMENTATION AT NO ADDITIONAL COST TO THE PROJECT.
- SHOULD ADDITIONAL SOIL EROSION CONTROL MEASURES BE DETERMINED TO BE NECESSARY AT ANY TIME BY EITHER THE SOIL EROSION CONTROL OFFICER OR THE OWNER'S ENGINEER THEY SHALL BE IN PLACE NO LATER THAN 24 HOURS FROM THE TIME OF NOTIFICATION TO THE GENERAL CONTRACTOR FOR THE PROJECT. IF NOT PLACED WITHIN 24 HOURS OR LESS ALL ON SITE CONSTRUCTION WILL BE HALTED UNTIL SUCH MEASURES ARE INSTALLED AND APPROVED BY EITHER THE SOIL EROSION CONTROL OFFICER OR THE OWNER'S ENGINEER.
- ALL DISTURBED NON-HARD SURFACE AREAS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINISHED GRADING AT ANY LOCATION OF THE SITE ACCORDING TO THE FOLLOWING: TOPSOIL SHALL BE INSTALLED TO A DEPTH OF NOT LESS THAN FOUR (4) INCHES EVERYWHERE. AREAS WITH GRADES LESS THAN 3:1 SHALL BE SEEDED FERTILIZED AND MULCHED. AREAS WITH SLOPES WHICH ARE BETWEEN 3:1 AND 2:1 GRADE SHALL BE SEEDED AND STAKED OR RECEIVE SEEDING IN COMBINATION WITH DOUBLE NET, BIODEGRADABLE EROSION CONTROL BLANKET (EXCEL CC-4 OR EQUAL). ALL SLOPES WITH GRADES STEEPER THAN 3:1 AND SUBJECT TO CONCENTRATED FLOWS SHALL RECEIVE PERMANENT TURF REINFORCING MATTING (EXCEL PPS-10 OR EQUAL). IN NO CASE SHALL CONSTRUCTED SLOPES IN EXCESS OF 2:1 BE ALLOWED ON THE PROJECT. INSTALLATION OF EROSION CONTROL BLANKETS AND TURF REINFORCING MATS SHALL BE PER MANUFACTURER'S INSTRUCTIONS. STORMWATER CHANNELS AND BASINS SHALL ALSO BE TREATED ACCORDING TO THESE CRITERIA UNLESS OTHERWISE SPECIFIED ELSEWHERE IN THESE PLANS
- ALL NEW STORM DRAINAGE PIPE SHALL BE CORRUGATED GALVANIZED STEEL PIPE, SMOOTH LINED CORRUGATED HDPE (CPE), OR APPROVED EQUAL. A MINIMUM OF TWO (2) FEET OF COVER FROM FINISHED ELEVATIONS SHALL BE MAINTAINED OVER ALL STORM DRAIN PIPES.
- ALL DRAINAGE PIPES THAT OUTLET AT GROUND SURFACE SHALL INCLUDE END SECTIONS.
- EXISTING STORM DRAINAGE DITCHES, CULVERTS, AND OTHER STRUCTURES, ALONG WITH TREES, SIGNAGE AND INFRASTRUCTURE NOT SCHEDULED FOR REMOVAL SHALL BE PROTECTED DURING CONSTRUCTION AND IF DAMAGED OR DIMINISHED, SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL REMOVE ALL SEDIMENT OR SOILS THAT HAVE BEEN DROPPED, WASHED ONTO OR TRACKED ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE ROADS AT THE END OF EACH WORKING DAY OR AFTER EACH RAIN EVENT ON NON-WORK DAYS. IF REQUESTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER, A WATER TRUCK SHALL BE KEPT ON STAND-BY ON SITE DURING THE CONSTRUCTION PHASE OF THE PROJECT TO CONTROL DUST.
- ALL REMOVED TOPSOIL WILL BE STOCKPILED WITHIN THE PROJECT AREA. IF ADDITIONAL TOPSOIL IS AVAILABLE AFTER TOPSOILING THE CONSTRUCTION AREA, IT WILL BE STOCKPILED WITHIN 1000 FEET OF THE CONSTRUCTION AREA AS DIRECTED BY THE OWNER OR ENGINEER.
- THE CONTRACTOR SHALL REPAIR ALL WASHOUTS, EROSION, AND SEDIMENTATION AT AND FROM THE PROJECT SITE DURING THE GUARANTEE PERIOD OF ONE (1) YEAR FROM THE DATE OF COMPLETION AT NO ADDITIONAL COST TO THE OWNER.

STORMWATER MANAGEMENT FACILITY MAINTENANCE NOTE:
IT IS UNDERSTOOD BY ALL PARTIES INVOLVED THAT THE DETENTION BASINS WILL BE MAINTAINED BY THE PROPERTY OWNER (MOWED, SEDIMENT REMOVAL, ETC.) AND WILL BE SUBJECT TO REVIEW BY GOVERNING AGENCIES. NO ALTERATION MAY BE PERFORMED ON THE BASINS WITHOUT ENGINEERING APPROVAL ONCE THE BASIN HAS BEEN ACCEPTED AS CORRECTLY BUILT

GRAPHIC SCALE: 1 inch = 10 feet

LEGEND

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- ROADWAY CENTERLINE
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- EXISTING POWER POLE
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- EX SANITARY CLEAN OUT
- SOIL TEST HOLE

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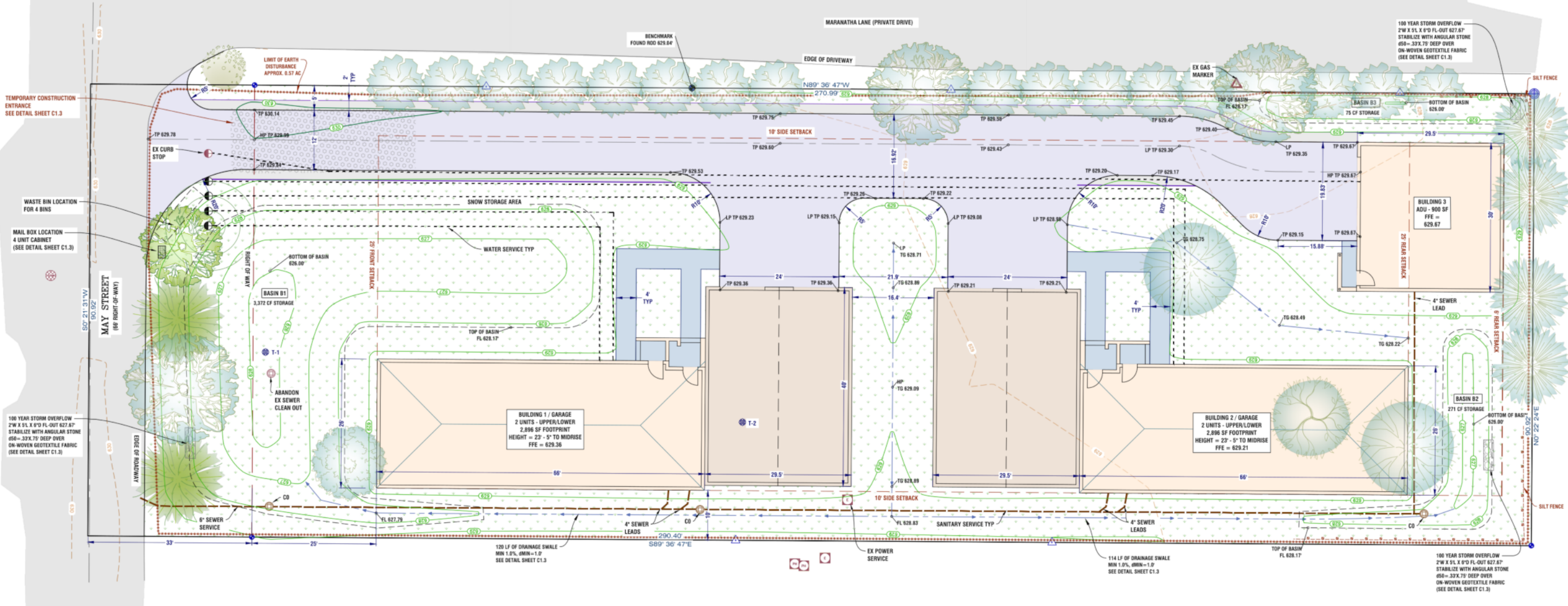
1002 MAY STREET DUPLEXES
PREPARED FOR:
BELLA CASA BUILDERS LLC
5426 WYNDAM LANE
BRIGHTON, MI 48116

REVISIONS			ISSUE / REVISION DESCRIPTION	
NO.	DATE	APP'D	ISSUE	REVISION DESCRIPTION

SITE GRADING / DRAINAGE / UTILITY PLAN

ORIGINAL ISSUE DATE:
09/26/24
SCALE:
BED JOB NO. 24021
DRAWING NUMBER

C1.2



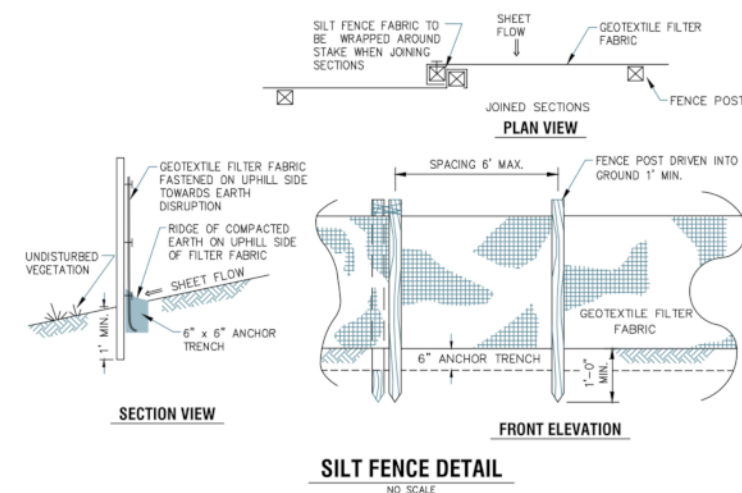
***EXISTING UTILITY NOTE:**
EXISTING UTILITIES SHOWN HERE ARE ACCORDING TO HISTORICAL SURVEY AND PLAN DATA AND SHOULD NOT BE TAKEN AS PRECISE. THIS INFORMATION IS PROVIDED FOR GENERAL KNOWLEDGE ONLY. CONTRACTOR SHALL HAVE UTILITIES MARKED AND SHALL INDEPENDENTLY VERIFY LOCATIONS OF CONNECTION POINTS.

STORMWATER CONTROL:
A STORM WATER DRAINAGE STUDY OF THE PROPOSED DEVELOPED CONDITIONS FOR THIS SITE HAS BEEN PERFORMED USING THE SCS TR-20 METHOD AND HYDROCAD VERSION 10. THE STORM WATER CONTROL FACILITIES HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF CHARLEVOIX STORMWATER MANAGEMENT ORDINANCE - PER THOSE GUIDELINES:
• THE PROPOSED PROJECT HAS LESS THAN 0.5 ACRE OF IMPERVIOUS SURFACE SO UTILIZES RETENTION BASINS DESIGNED TO RETAIN GREATER THAN 2" OF RUNOFF FROM ALL IMPERVIOUS SURFACES IN LIEU OF DETAILED HYDROLOGIC CALCULATIONS.
TOTAL PROPOSED IMPERVIOUS SURFACE: 11,387 SF (0.26 AC)
2" (1/12") 11,387 SF = 1,898 CF REQUIRED
3,770 CF PROVIDED
• RETENTION BASINS INCLUDE A 100YR STORM OVERFLOW
• BASIN SLOPES DO NOT EXCEED 3:1
• BASINS ARE DESIGNED TO DRAIN/INFILTRATE WITHIN 72 (HYD CONDUCTIVITY 1.3"/HR)

SOILS:
SOIL EVALUATION CONDUCTED BY:
BOYNE ENGINEERING AND DESIGN
CARRIE MAY, PE ON SEPT 2, 2024
CONDITIONS: CLEAR
• TH-1 PROP STORMWATER BASIN
0"-6" MED LOAMY SAND TOPSOIL
6"-30" MED LOAMY SAND
30"-37" FINE SAND
37"-47" FINE LOAMY SAND
47" + FINE SAND
NO GROUNDWATER OR SEASONAL HIGH GROUNDWATER OBSERVED
• TH-2 MID SITE - 20' FROM SOUTH PL
0"-5" MED LOAMY SAND TOPSOIL
5"-23" MED LOAMY SAND
23"-28" FINE SAND
28"-34" FINE LOAMY SAND
34"-48" FINE SAND
NO GROUNDWATER OR SEASONAL HIGH GROUNDWATER OBSERVED

EARTH STABILIZATION
SEED AND STRAW REQUIRED AS FOLLOWS:
STRAW: 75 LBS PER 1,000 SQ. FT.
18-18-10 FERTILIZER: 200 LBS PER ACRE
SEED MIX: 220 LBS PER ACRE
EROSION SEED MIX BY %:
25% PERENNIAL RYEGRASS
25% CREEPING RED FESCUE
25% FAWN TALL FESCUE
25% ANNUAL RYEGRASS
10% KENTUCKY BLUEGRASS (85/80)
*OR SEED MIX PROVIDED BY LANDSCAPING DESIGNER
CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ESTABLISHING A HEALTHY STAND OF GRASS PRIOR TO THE ONSET OF COLD WEATHER





CVX BELLA CASA RESIDENTIAL DEVELOPMENT

1002 MAY ST.,
CHARLEVOIX, MI 49720

ARCHITECT
4545 ARCHITECTURE | DESIGN
TIMOTHY FLINTOFF
2761 E. JEFFERSON, SUITE 302
DETROIT, MI 48207

PROJECT DATA

BUILDING CODE AUTHORITY:
CITY OF CHARLEVOIX

APPLICABLE CODES:

BUILDING CODE
ALSO KNOWN AS THE "MICHIGAN RESIDENTIAL BUILDING CODE"
2015 MICHIGAN RESIDENTIAL CODE (MRC) AS AMENDED

MECHANICAL CODE
ALSO KNOWN AS THE "MICHIGAN MECHANICAL CODE"
2021 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE
ALSO KNOWN AS THE "MICHIGAN PLUMBING CODE"
2021 MICHIGAN PLUMBING CODE AS AMENDED

ELECTRICAL CODE
ALSO KNOWN AS THE "MICHIGAN ELECTRICAL CODE"
2023 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN
AMMENDMENTS PART 8.

ENERGY CODE
2015 UNIFORM ENERGY CODE

BARRIER FREE REQUIREMENTS
AMERICANS WITH DISABILITIES ACT (ADA)
MBC-2015, CHAPTER 11
ICC / ANSI 117.1 - 2010, EXCEPT SECTION 611 & 707

PROJECT DESCRIPTION:
MULTIFAMILY PROJECT:
COMBINATION 2 DUPLEXES & 1 ADU (ACCESSORY DWELLING UNIT)
ABOVE GARAGE

BUILDING DATA:
STORIES: 2

SPRINKLERED: NO

ENERGY EFFICIENCY
COMPLY WITH SECTION N1102 OF THE 2015 MICHIGAN RESIDENTIAL CODE
CLIMATE ZONE: 6A

CEILING:	R-49
WOOD FRAMED WALL:	R-20 OR R-13(CAVITY)+R5(SHEATHING)
MASS WALL:	R-20/R-15
FLOOR:	R-30 OR FILL CAVITY, R-19 MIN. ¹
SLAB:	R-10 (4'-0" DEEP)

¹ MRC TABLE N1102.1.1: R-30 REQ'D OR INSULATION SUFFICIENT TO FILL
THE FRAMING CAVITY, R-19. MIN.

SHEET INDEX

TS1.1	TITLE SHEET
TS1.2	GENERAL NOTES
TS1.3	SPECIAL INSPECTIONS
SP1.1	ARCHITECTURAL SITE PLAN
A1.1	ARCHITECTURAL FLOOR PLANS - MAIN RESIDENCE
A1.2	ARCHITECTURAL FLOOR PLANS - ADU
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A6.1	3D VIEWS
A6.2	3D VIEWS

SYMBOL LEGEND	ABBREVIATIONS
Drawing Navigation Elevation Callout Section Callout Detail Callout Other	@ Acoust At Acoustical ACT Acoustic Ceiling Tile ADJ Adjacent AFF Above Finish Floor ALUM Aluminum ANOD Anodized BD Board BLDG Building BLK Block BLKG Blocking CEM Cement CJ Control Joint CLG Ceiling CL Centerline CO Clean Out COL Column CONC Concrete CG Corner Guard CONST Construction CONT Continuous CORR Corrugated CPT Carpet CT Ceramic Tile DET Detail DIA Diameter DM Dimension DN Down DO Door Opening DR Door DWG Drawing EA Each ELEV Elevation EW Each Way EXG Existing EXIST Existing EXP Expansion, Exposed FD Floor Drain FDN Foundation FRP Fiber Reinforced Panels FIN Finish FLR Floor FO Face Of FOS Face of Stud FR Frame FTG Footing FV Field Verify GA Gauge GALV Galvanized GYP Gypsum HDW Hardware HM Hollow Metal HORIZ Horizontal HT Height ID Inside Diamtere INSUL Insulation INT Interior JT Joint LAV Lavatory LG Long LLO Long Leg Outstanding LLV Long Leg Vertical MAX Maximum MECH Mechanical MET Metal MEZZ Mezzanine MI Miscellaneous Iron MIN Minimum MISC Miscellaneous MO Masonry Opening NIC Not In Contract NTS Not To Scale OC On Center OD Outside Diameter OPNG Opening OPP Opposite PLG Plate Glass PLS Plate Steel PLAM Plastic Laminate PLAS Plaster PREFAB Prefabricated PROJ Project, Projection PSF Pounds per Square Foot PT Paint, Point, Pressure Treated R Riser RA Return Air RB Rubber Base RC Roof Conductor RCP Reflected Ceiling Plan RD Roof Drain RF Rubber Flooring REINF Reinforced, Reinforcing Required REQD Required RFG Roofing RM Room RS Roof Sump RT Rubber Tile SAN Sanitary SCHED Schedule SHT Sheet SIM Similar SPEC Specification SS Service Sink STL Steel STD Standard STOR Storage STRUCT Structural SUSP Suspended SW Switch SYM Symmetrical T Tread T&B Top and Bottom TEL Teelephone TERR Terrazzo T&G Tongue and Groov THK Thick, Thickness THRES Threshold TOS Top Of Steel TYP Typical U/C Undercut UNO Unless Noted Otherwise VB Vinyl Base VCT Vinyl Composition Tile VIF Verify In Field W Wide VERT Vertical WAINS Wainscot WC Water Closet WD WIN Wood Window WT Wight WWF Welded Wire Fabric

ARCHITECT:

4545

architecture

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TM.FLINTOFF@4545ARCHITECTURE.COM

CONSULTANT:

Project :

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RESIDENTIAL
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Issued for :

REVIEW10/07/2024

Drawn by :
AUTHOR
Checked by :
AUTHOR

Sheet Title :
TITLE SHEET

Project No. :
2024009

Sheet No. :
TS1.1

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CHARLEVOIX, MI 49720

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Drawn by :

Author

Checked by :

Author

Sheet Title :
ARCHITECTURAL SITE
PLAN

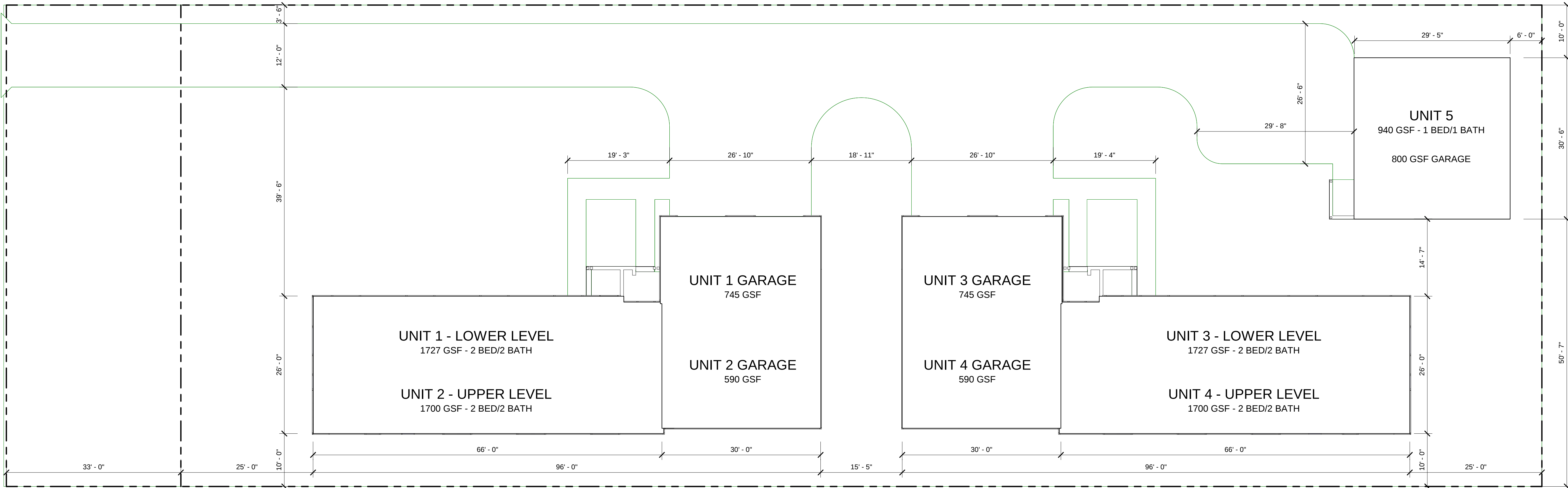
Project No. :
2024009

Sheet No. :

SP1.1

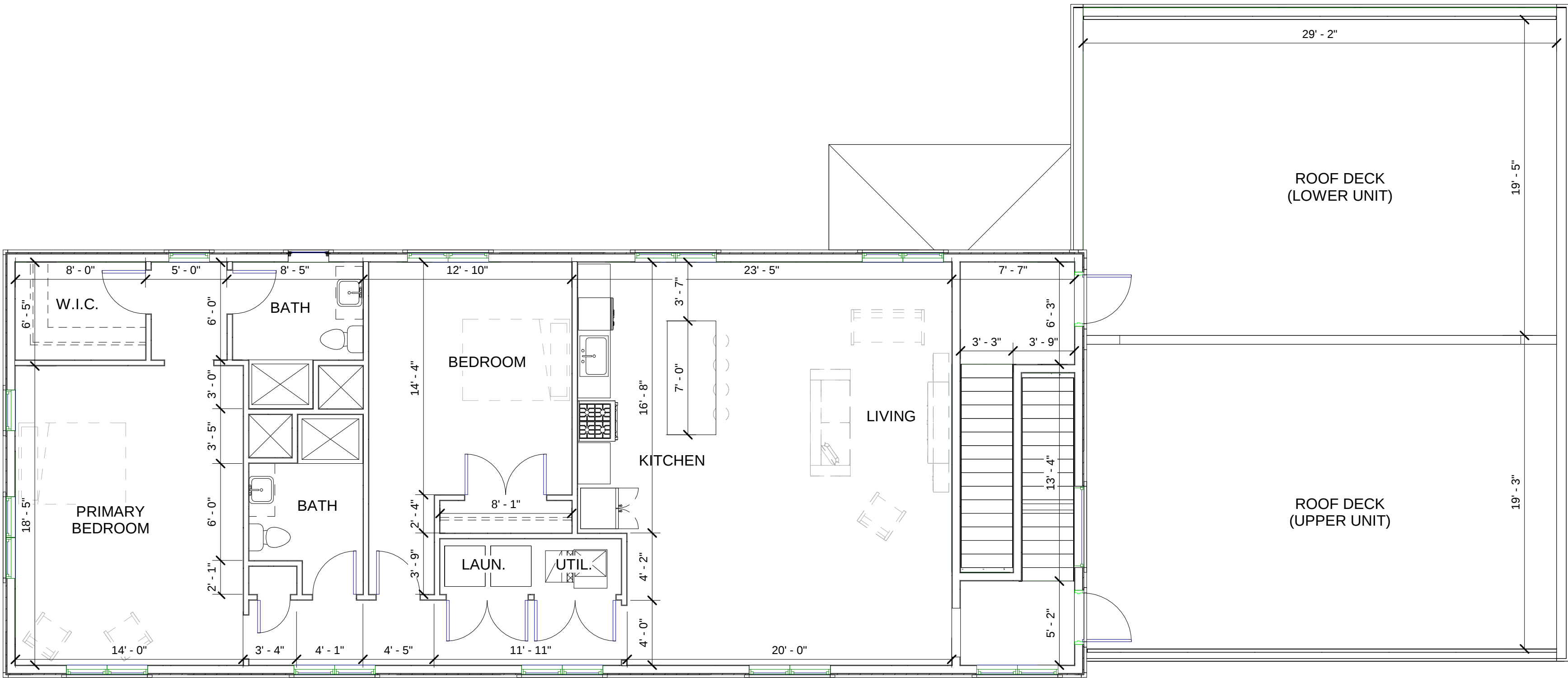
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NOT FOR CONSTRUCTION

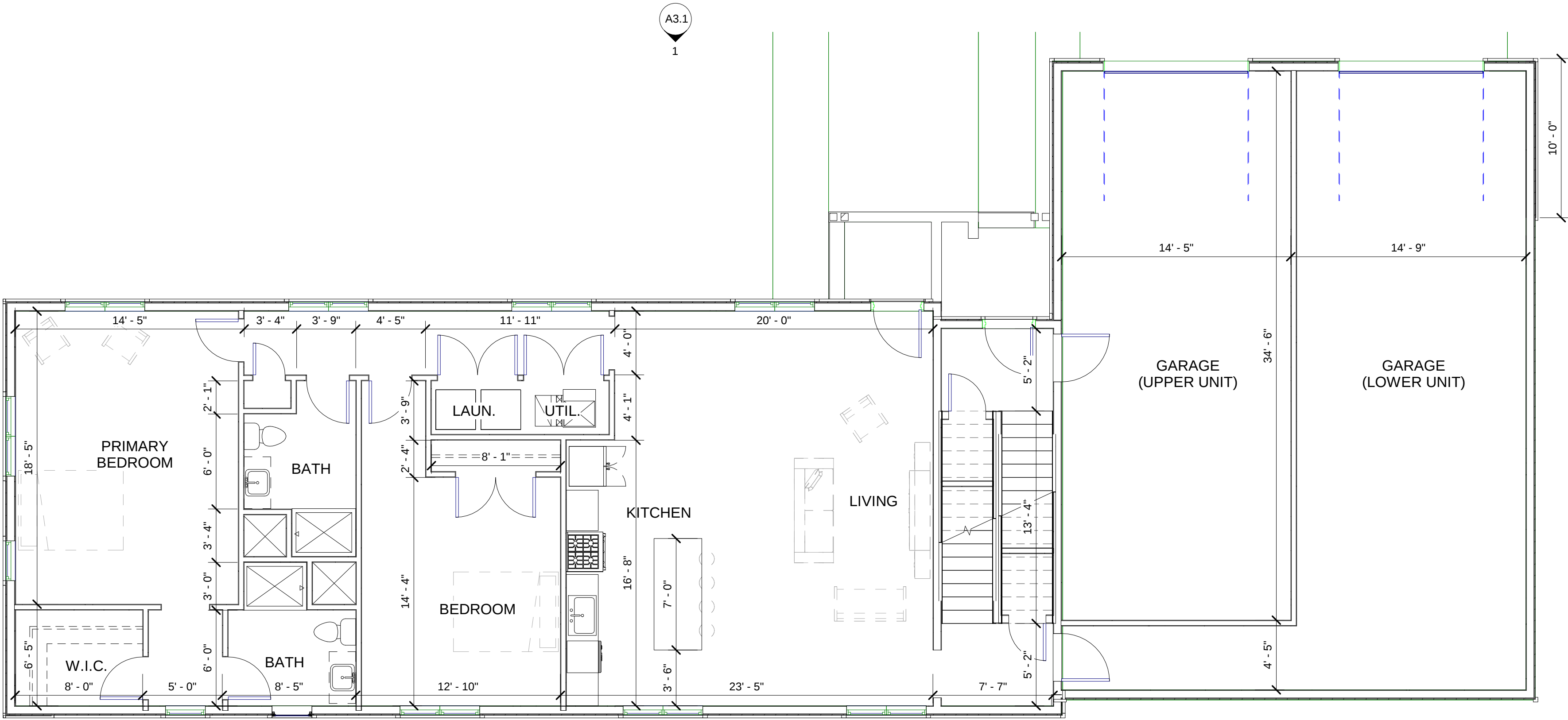


1 SITE PLAN
SCALE: 1" = 10'-0"

ENDER STEP LOCATION



2 SECOND FLOOR
SCALE: 3/16" = 1'-0"



1 FIRST FLOOR
SCALE: 3/16" = 1'-0"

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- DO NOT BACKFILL WALLS UNTIL FLOOR DECKS ARE INSTALLED
- ALL POSTS CONTINUOUS TO FOUNDATION
- SHEAR WALLS TO BE PERSCRIPTIVE PER MBC 2015

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ARCHITECTURAL
FLOOR PLANS - MAIN
RESIDENCE

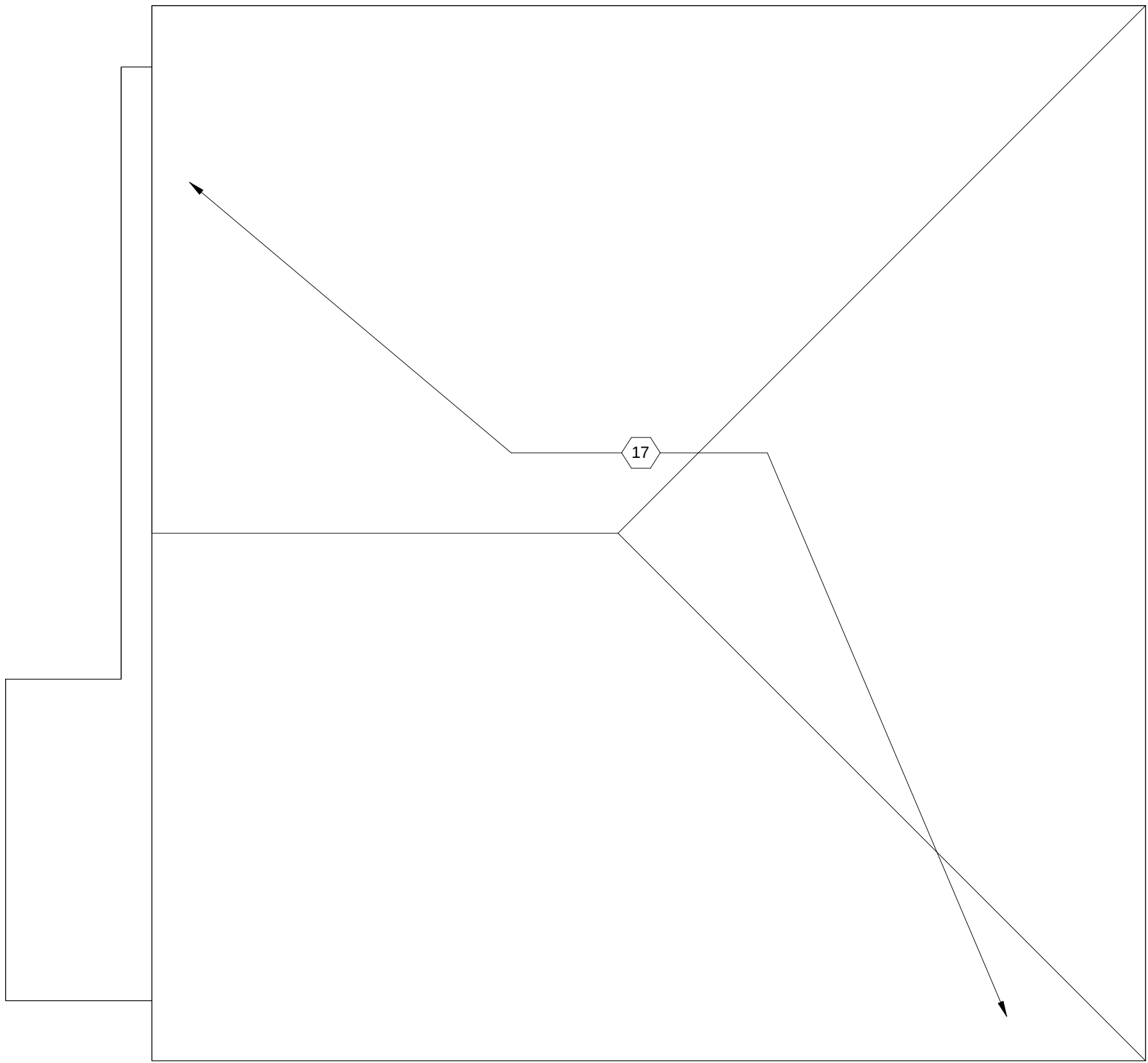
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2024009

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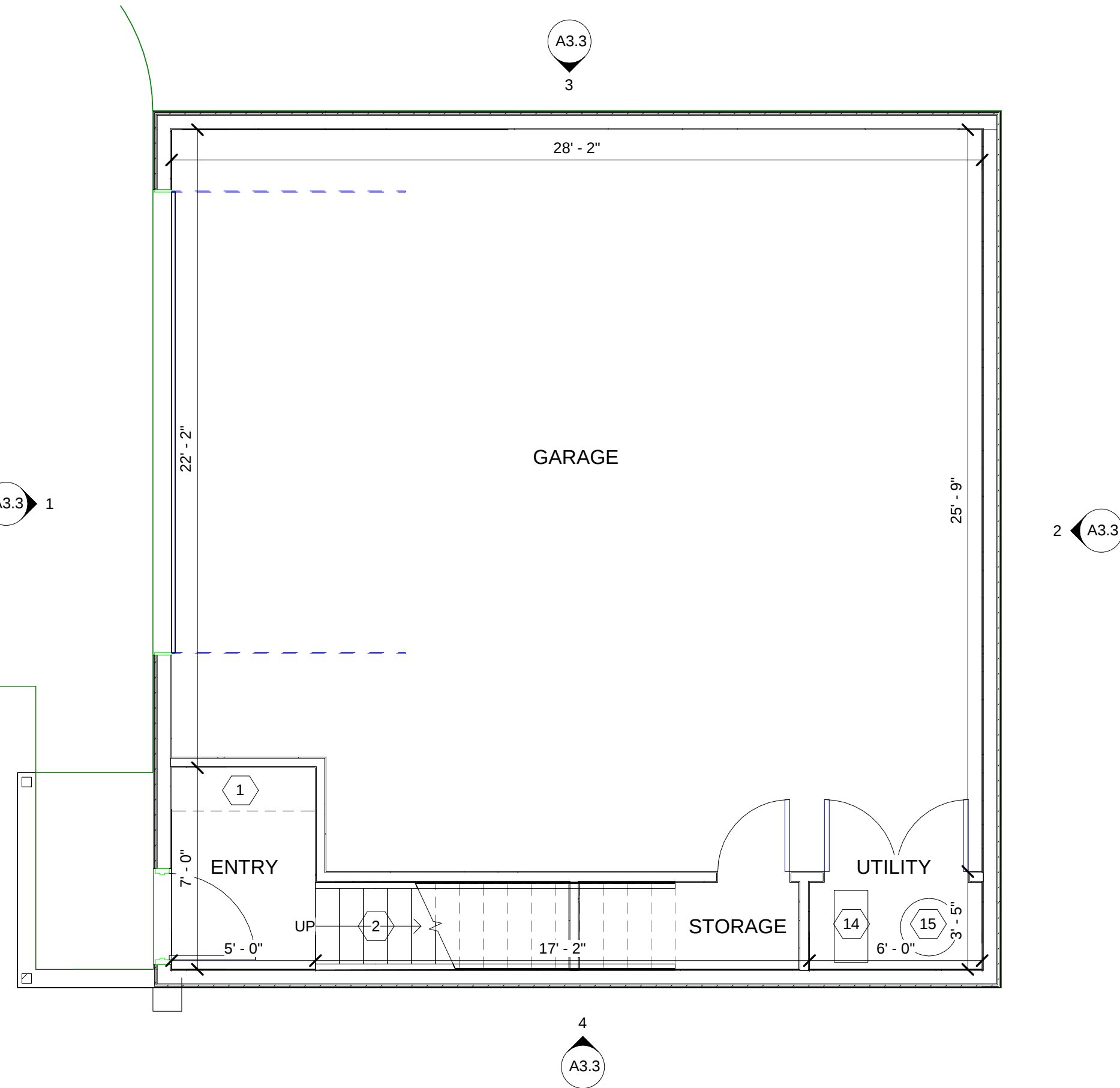
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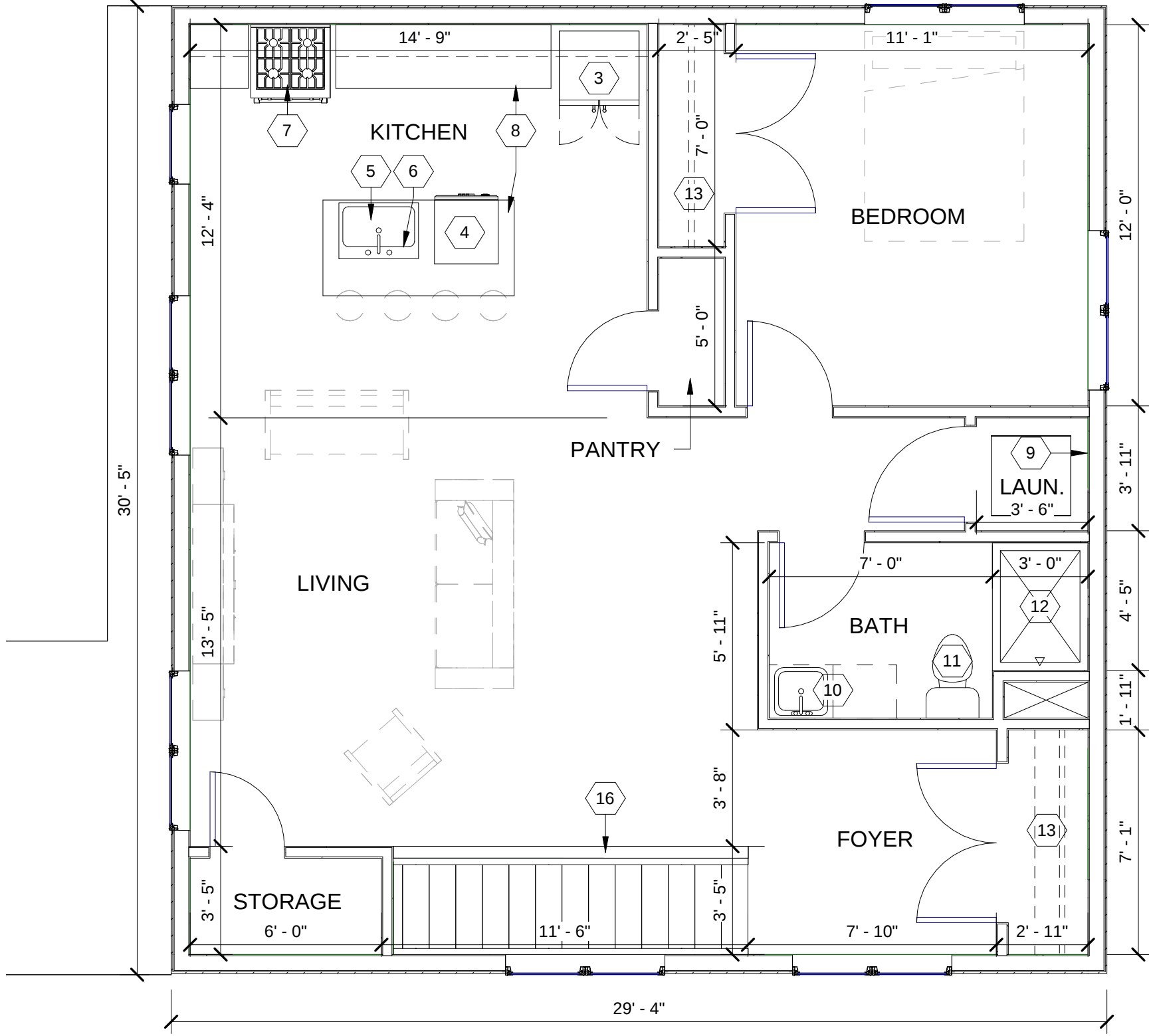
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3 ADU ROOF
SCALE: 1/4" = 1'-0"



1 ADU FIRST FLOOR
SCALE: 1/4" = 1'-0"



2 ADU SECOND FLOOR
SCALE: 1/4" = 1'-0"

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FLOOR PLAN KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- 1 BENCH & BUILT-IN CABINETS, SEE OWNER FOR FINAL SELECTION
- 2 WOOD STAIR / TREADS
- 3 REFRIGERATOR
- 4 UNDER COUNTER DISHWASHER
- 5 KITCHEN SINK
- 6 PROVIDE AIR SWITCH FOR GARBAGE DISPOSAL
- 7 RANGE WITH HOOD
- 8 STONE COUNTERTOP WITH WOOD CABINET, SEE OWNER FOR FINAL SELECTION
- 9 PROVIDE GRAY BOX FOR WASHER/DRYER HOOKUP
- 10 SINK VANITY WITH STONE COUNTERTOP, SEE OWNER FOR FINAL SELECTION
- 11 TOILET
- 12 36"x48" PREFAB SHOWER PAN
- 13 PROVIDE HANGING ROD AND SHELF
- 14 GAS FURNACE
- 15 HOT WATER HEATER
- 16 3'-0" TALL HALF WALL
- 17 ASPHALT SHINGLES ON WATER & ICE ON 3/4" PLYWOOD SHEATHING ON WOOD ROOF TRUSSES

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FLOOR PLANS - ADU

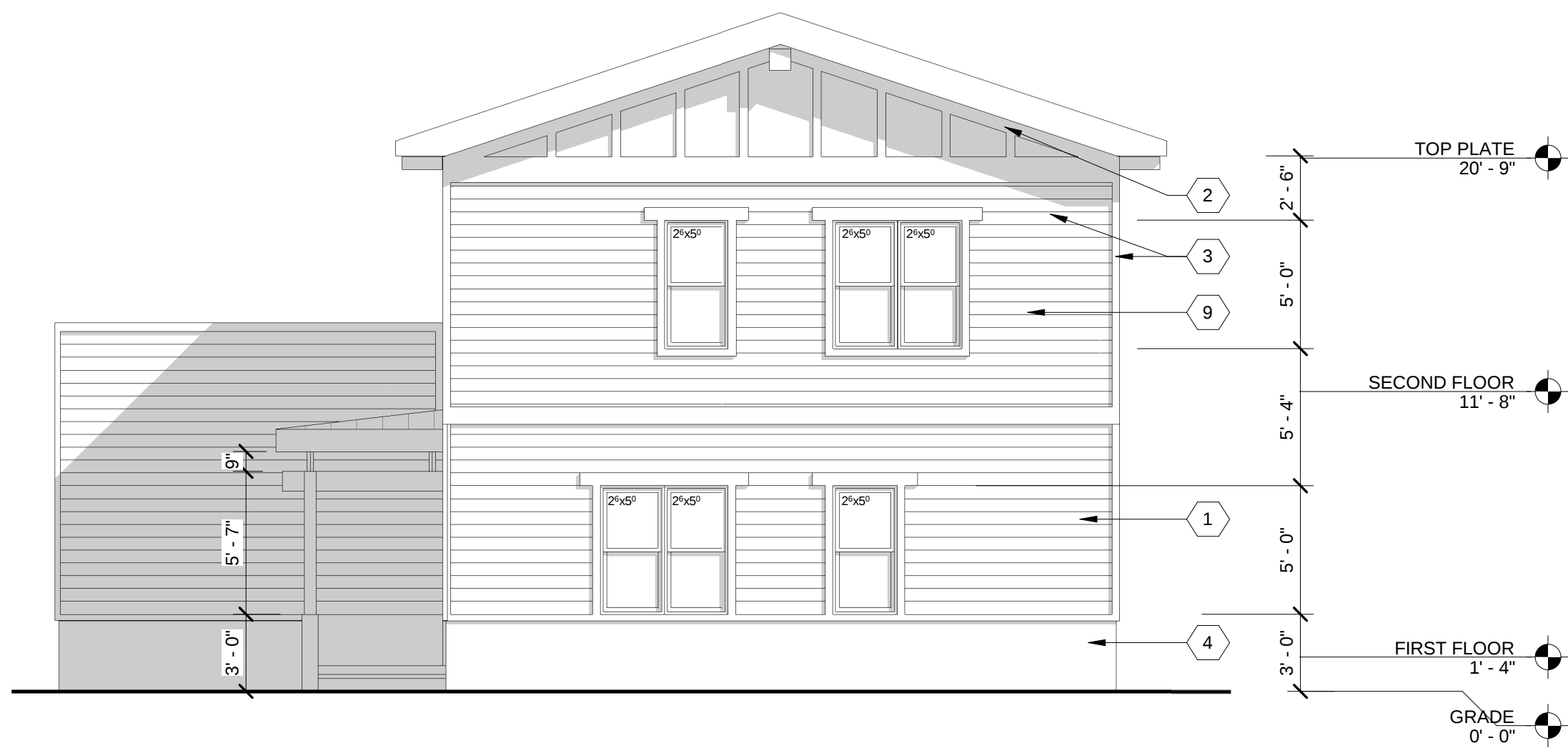
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2 SIDE ELEVATION 1
SCALE: 3/16" = 1'-0"



1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"

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EXTERIOR KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- JAMES HARDIE FIBER CEMENT LAP SIDING - COLOR EVENING BLUE
- JAMES HARDIE FIBER CEMENT BOARD & BATTEN SIDING - RUSTIC GRAIN, COLOR TIMBER BARK
- JAMES HARDIE FIBER CEMENT TRIM - ROUGHSAWN, COLOR TIMBER BARK
- FIELD STONE VENEER TBD
- CMU
- ASPHALT SHINGLE ROOF
- 7'x16' GARAGE DOOR
- FIBERGLASS EXTERIOR ENTRY DOOR
- FIBERGLASS WINDOWS. BASIS OF DESIGN: ANDERSON 100 SERIES, BLACK
- WOOD RAILING, MIN. 42" TALL

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EXTERIOR
ELEVATIONS

Project No. :

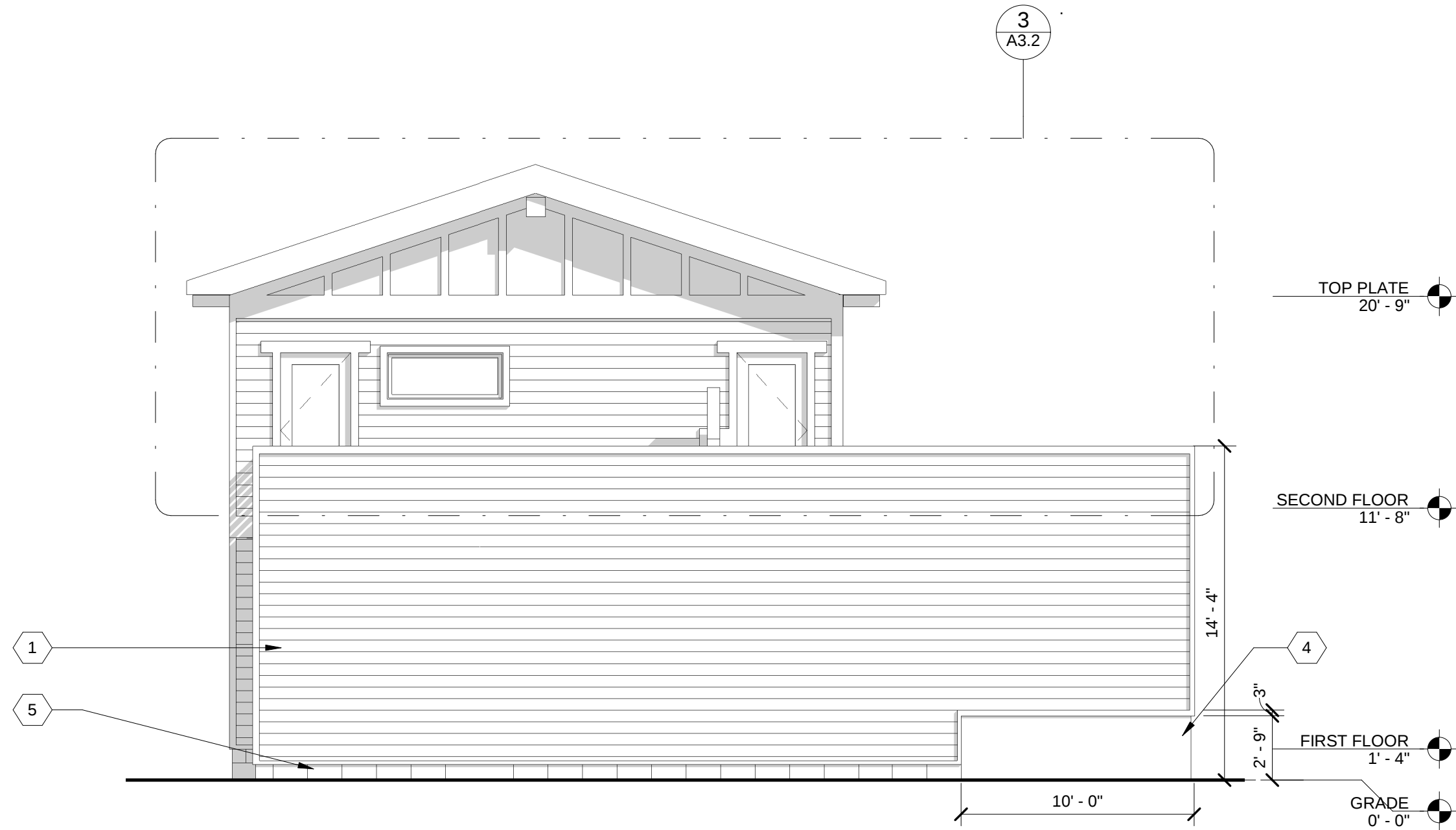
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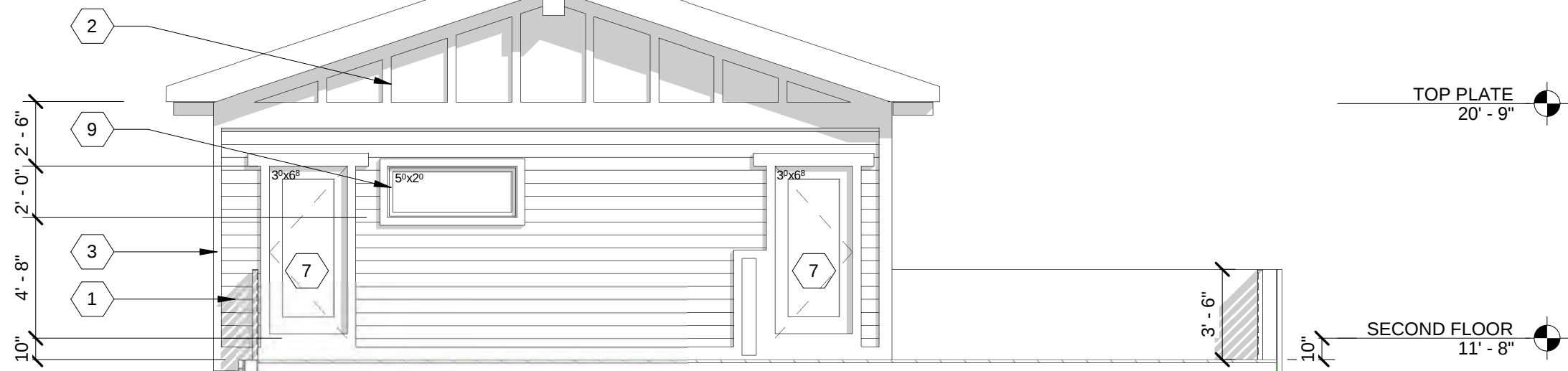
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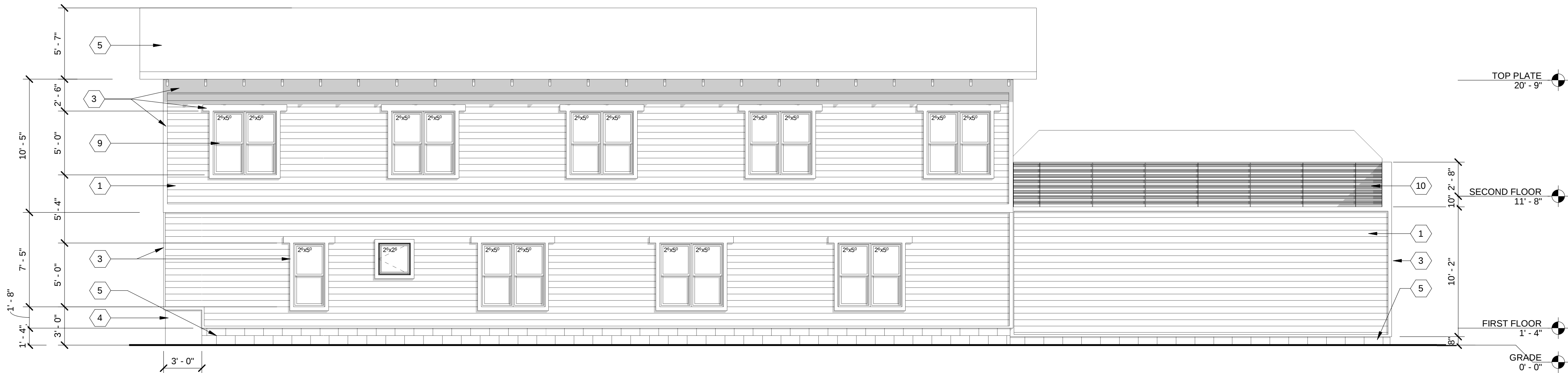
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2 SIDE ELEVATION 2
SCALE: 3/16" = 1'-0"



3 SIDE ELEVATION DETAIL
SCALE: 3/16" = 1'-0"



1 REAR ELEVATION
SCALE: 3/16" = 1'-0"

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- WOOD RAILING, MIN. 42" TALL

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A3.3

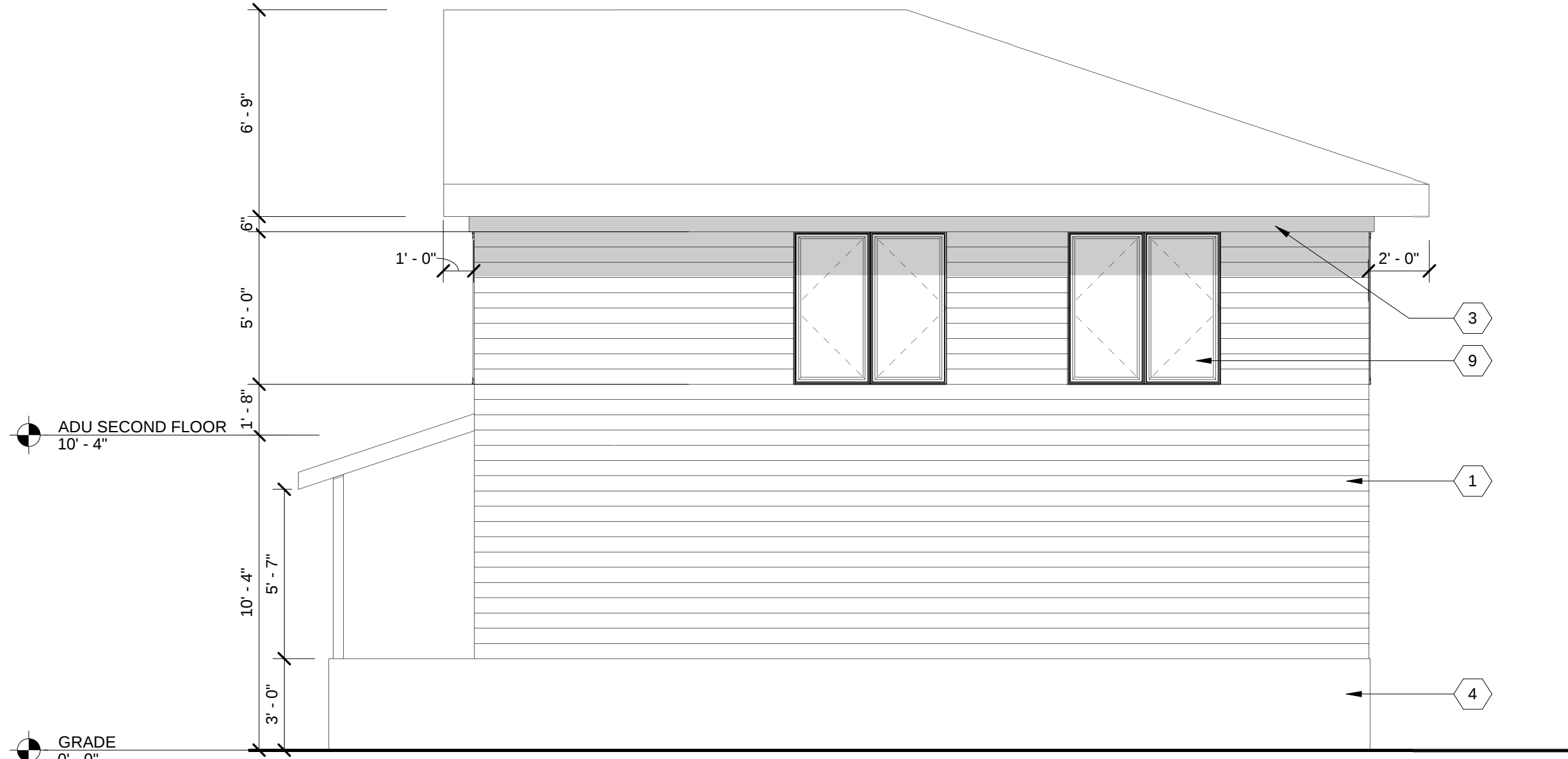
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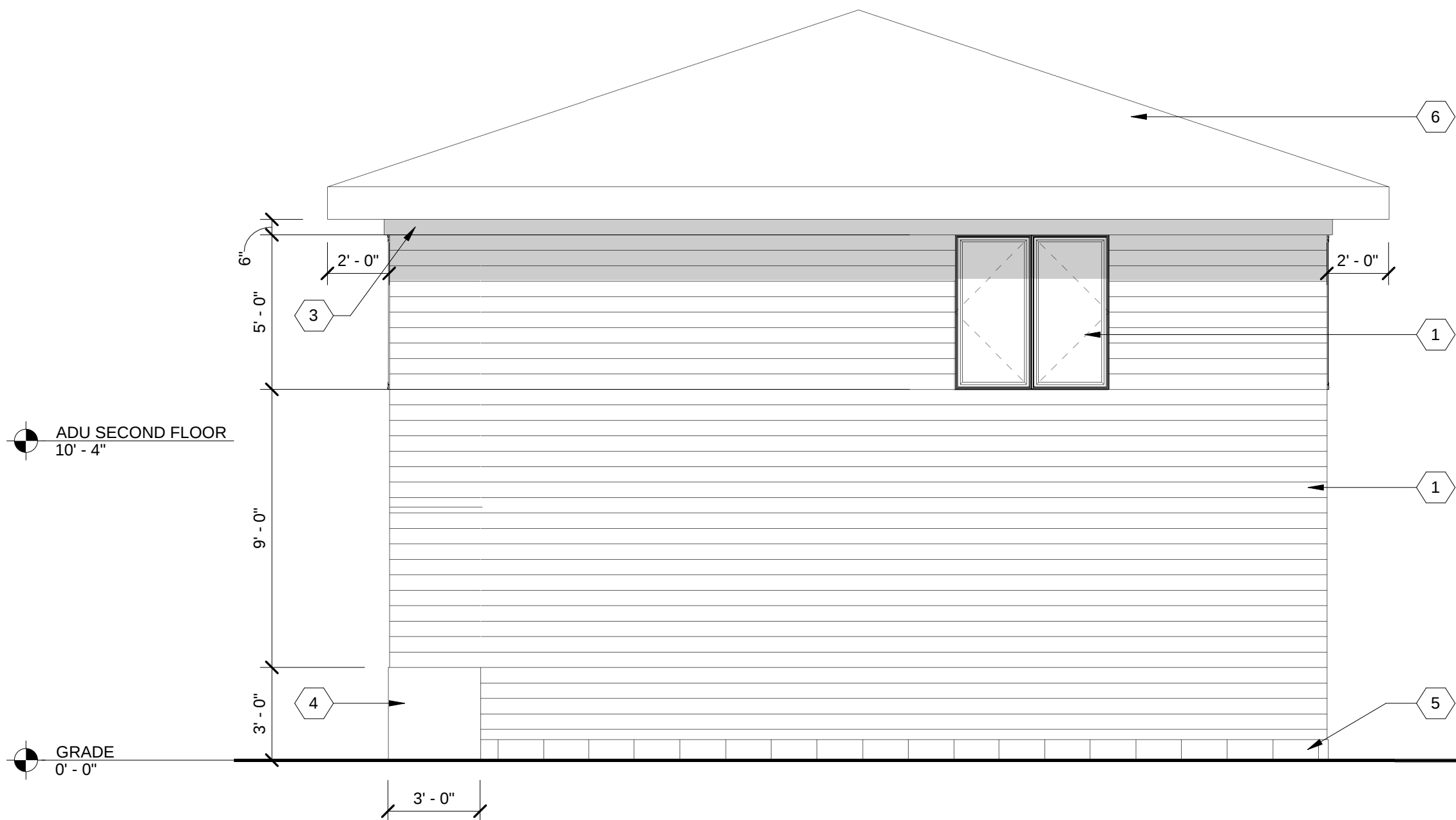
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- 7'x16' GARAGE DOOR
- FIBERGLASS EXTERIOR ENTRY DOOR
- FIBERGLASS CASEMENT WINDOWS, BASIS OF DESIGN: ANDERSON 100 SERIES, BLACK
- WOOD POST WRAPPED IN BRAKE METAL
- STANDING SEAM METAL ROOF



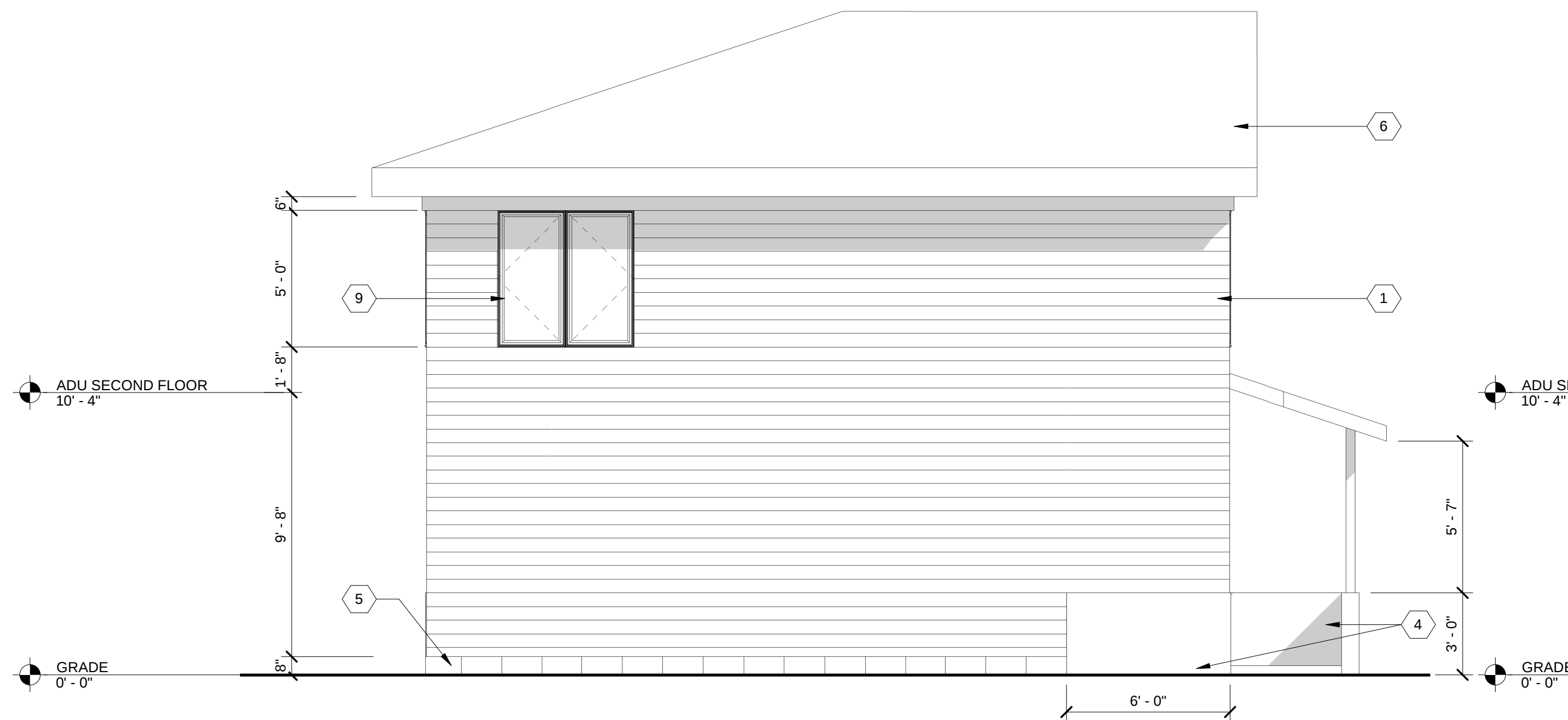
4 ADU - SIDE ELEVATION 2

SCALE: 1/4" = 1'-0"



2 ADU - REAR ELEVATION

SCALE: 1/4" = 1'-0"



3 ADU - SIDE ELEVATION 1

SCALE: 1/4" = 1'-0"



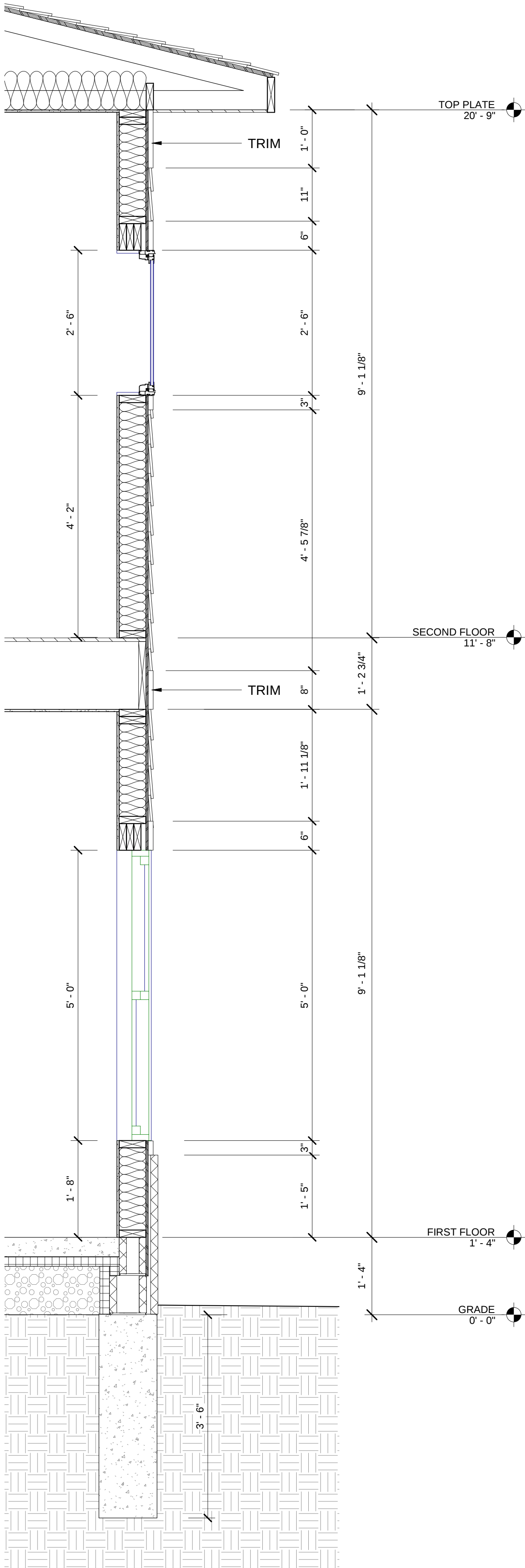
1 ADU - FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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ENDER STRIP LOCATION



1 WALL SECTION
SCALE: 3/4" = 1'-0"

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WALL SECTIONS

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3D VIEWS

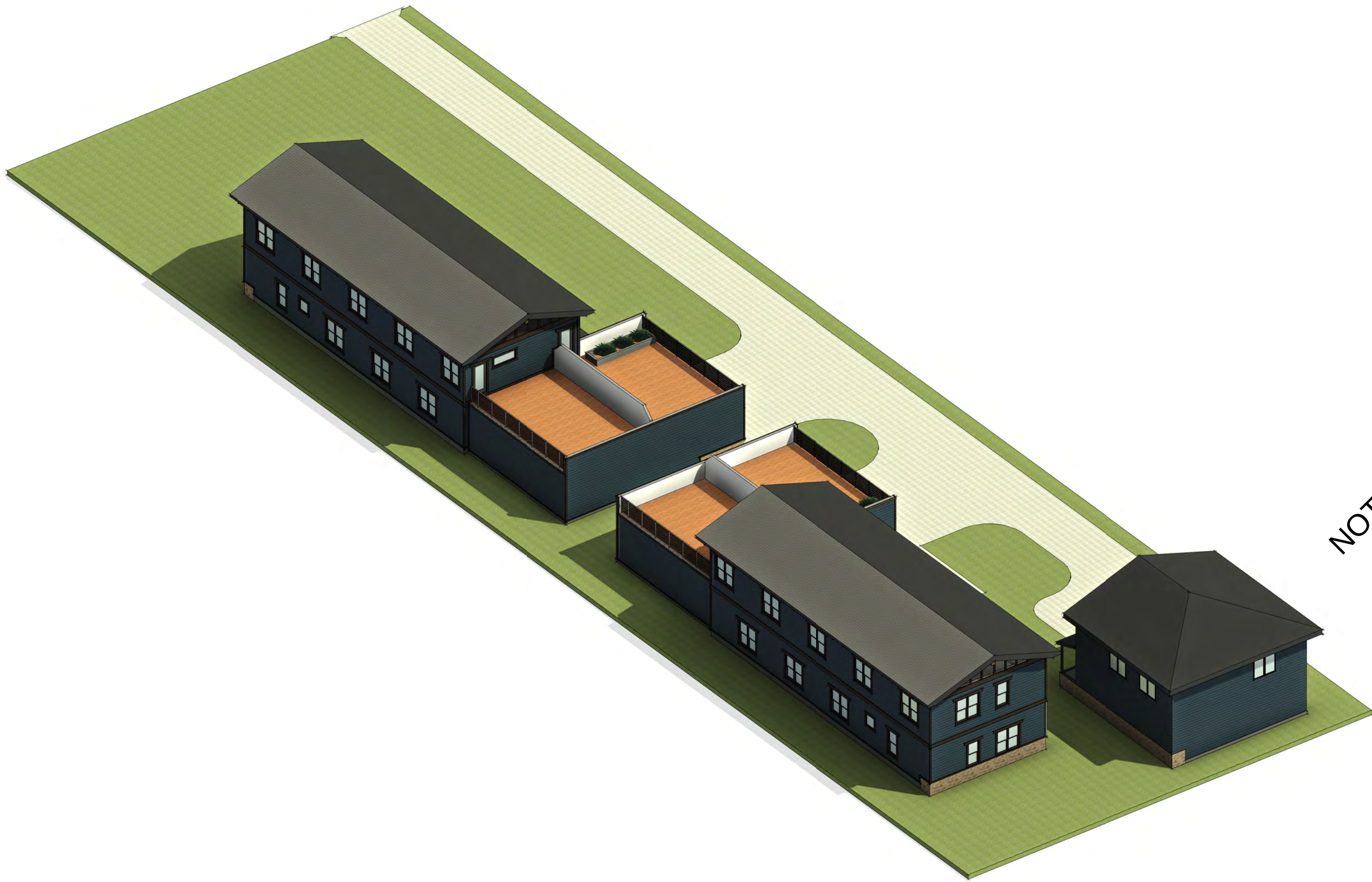
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Sheet No. :

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3D VIEWS

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PLANNING COMMISSION AGENDA ITEM

AGENDA TITLE: Level B Site Plan Review 2024-3 SPR: 1002 May Street

PUBLIC MEETING DATE: **October 14, 2024** **6:00PM**

EXHIBITS:	1. Site Plan Review application. 2. Site Plan provided by applicant. 3. Site Plan Review Report by Zoning Administrator 4. City of Charlevoix Zoning Ordinance.
------------------	---

I. GENERAL INFORMATION:

Applicant: Bella Casa Builders LLC.

Property Owner: Bella Casa Builders LLC.
5426 Wyndam Lane
Brighton, MI 48116

Requested Action: Level B Site Plan Approval for two infill duplex site condominiums

Zoning: Residential One (R-1)

Project Location: 1002 May Street Tax ID 052-335-055-00

Project Site Size: 26,390 Square feet

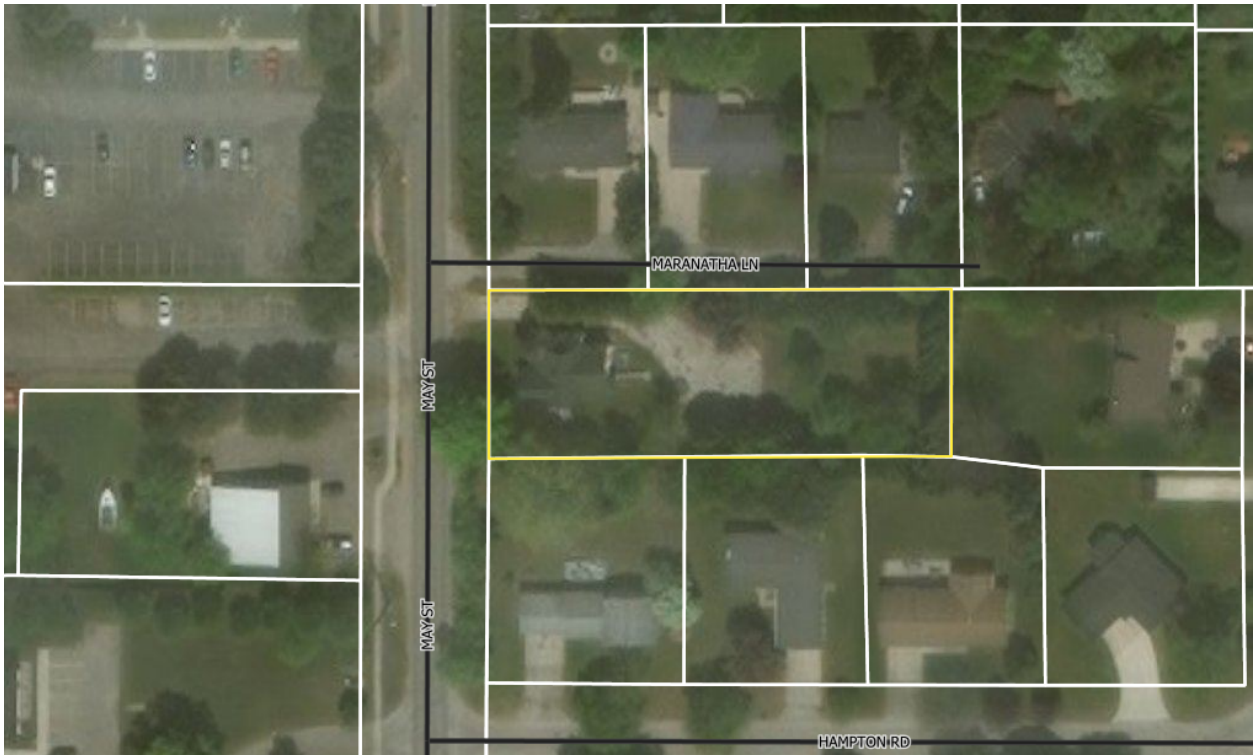
Existing Land Use: Residential/undeveloped

Adjacent Land Uses: Across private street north, single family residential. East and south, single family residential. Across May Street, multifamily residential apartments.

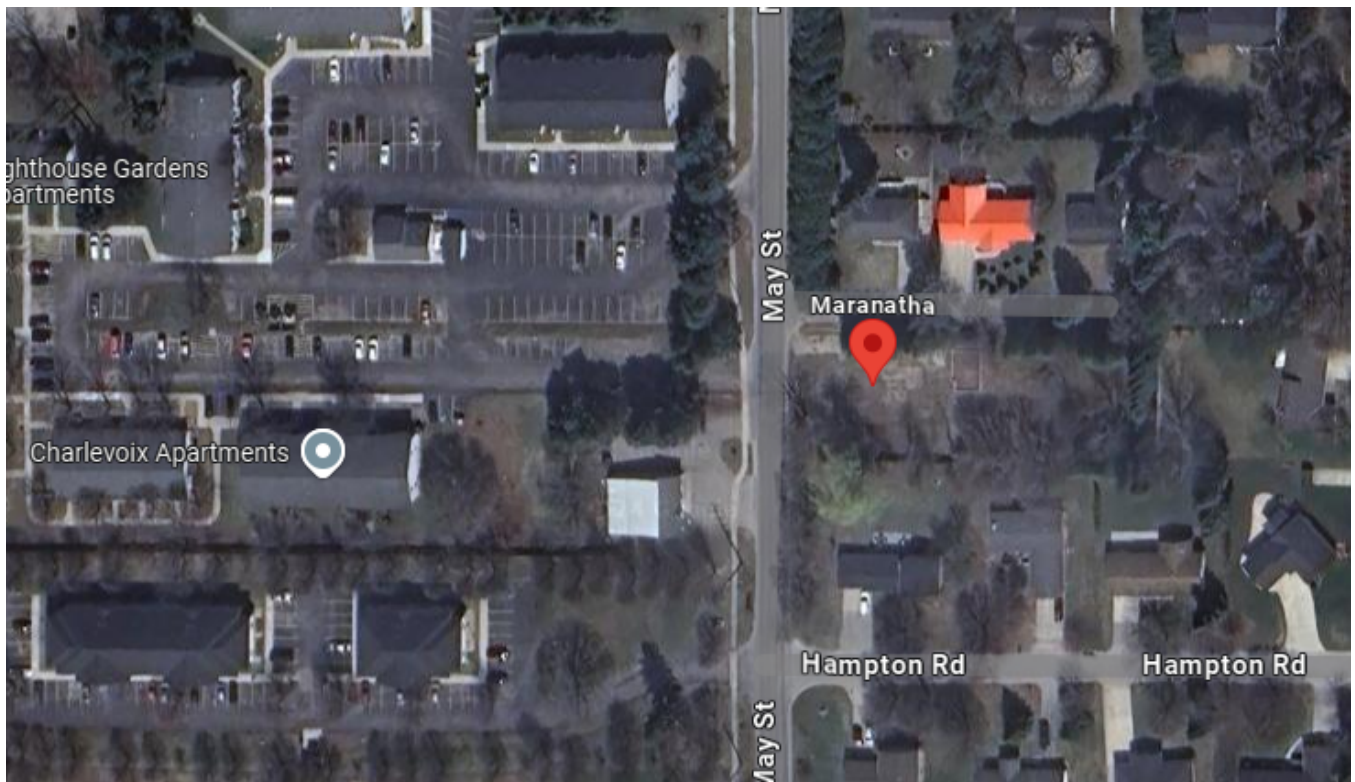
Adjacent Zoning: East, north and south R-1 Low Density Family residential. West, across May Street, Multifamily Residential

II. PROJECT DESCRIPTION/LOCATION:

Bella Casa Builders LLC is proposing a Site Condominium Infill Development on the vacant lot at 1002 May Street. The proposed plan includes two site condominium units, one consisting of a stacked duplex with attached garages and an accessory ADU. The two stacked duplexes are mirrored identical designs which consist of 26' x 66' stacked dwellings with attached 29.5' x 40' garages divided in half and including deck spaces for each unit above the first-floor garage bays.



Source: Charlevoix County Website Aerial photo 2016



Subject property Google Earth 2022

III. MASTER PLAN CONSIDERATIONS: *Please note that Site Plan Review is not based on consistency with the City Master Plan, this section is included only for general reference.

The 2022 Land Use Master Plan identifies this area of Charlevoix as being Community Mixed Use.

Key Characteristics: The Community Mixed Use future land use community character area is largely located in the South US 31 Mixed Use Community Character Area. It is a high intensity area that is intended to support commercial, multiple family residential, and mixed use planned developments. A mix of uses and spaces generate day, evening, and night activity. Development shall focus on adapting existing uses, redevelopment of underutilized sites, and providing infill development where appropriate. The Community Mixed Use area’s activity levels, building mass, and accessibility will be similar to that of the downtown area. Sidewalks as part of a pedestrian-friendly street network and shared open spaces shall provide access throughout and promote community connections.

Building and Site Design: A mix of building types should be allowed in the Community Mixed Use area while mixed use, multi-story buildings are the preferred development type. New and infill development should be harmonious with existing land use patterns while maximizing site potential. S

IV. SITE PLAN REQUIREMENTS:

The Zoning Administrator has been granted the authority to waive portions of the information that is typically required in a site plan by the Zoning Ordinance. Table 153.234 below indicates what items are included on the site plan as submitted and what items the Zoning Administrator has waived. The key for the responses on the right-hand side of Table 153.234 are noted below.

- X Information Provided on Site Plan
- SA See Attached Information
- PI Partial Information Provided on Site Plan
- NA Not Applicable, Requirement Waived by Zoning Administrator
- M Missing

Submittal Requirements

(1) Required Content. Each site plan submitted shall contain the information detailed in Table 153.234, as applicable:

Table 153.234: Required Site Plan Content

<u>Required Information</u>	<u>Level “B”</u>
------------------------------------	-------------------------

General Information

<u>Date, north arrow and scale</u>	X
<u>Name and firm address of the professional individual responsible for preparing the site plan</u>	X
<u>Name and address of the property owner or petitioner</u>	X
<u>Location sketch</u>	X
<u>Legal description of the subject property</u>	X

Size of subject property in acres or square feet	X
Boundary survey	X
Preparer's professional seal	X
Revision block (month, day and year)	X

Existing Conditions

Existing zoning classification of subject property	X
Property lines and required setbacks (dimensioned)	X
Location, width and purpose of all existing easements	NA
Location and dimension of all existing structures on the subject property	NA
Location of all existing driveways, parking areas and total number of existing parking spaces on subject property	NA
Abutting street right-of-way width	X
Location of all existing structures, driveways and parking areas Within three hundred (300) feet of the subject property's boundary	X
Existing water bodies (rivers, creeks, wetlands, etc.)	NA
Existing landscaping and vegetation on the subject property	X
Size and location of existing utilities	X
Location of all existing surface water drainage facilities	NA

Proposed Development

Location and dimensions of all proposed buildings	X
Location of all proposed drives (including dimensions and radii), acceleration/deceleration lanes, sidewalks, walls, fences, signs, exterior lighting, curbing, parking areas (including dimensions of a typical parking space and the total number of spaces to be provided) and unloading areas	X
Setbacks for all buildings and structures	X
Recreation areas, common use areas, dedicated open space and areas to be conveyed for public use	NA
Flood plain areas and basement and finished floor elevations of all buildings	X
Landscape plan (showing location of proposed materials, size and type)	X
Layout and typical dimensions of proposed parcels and lots	X
Number of proposed dwelling units (by type), including typical floor plans for each type of unit	X
Number and location (by code, if necessary) of efficiency and one, two and three or more bedroom units	X
All deed restrictions or covenants	X
Brief narrative description of the project including proposed use, existing floor area (sq. ft.), size of proposed expansion (sq. ft.) and any change in the number of parking spaces	X

Engineering

<u>Proposed method of handling sanitary sewage and providing potable</u>	
<u>Water</u>	<u>X</u>
<u>Location and size of proposed utilities, including connections to public</u>	
<u>sewer and water supply systems and/or size and location of on-site systems</u>	<u>X</u>
<u>Location and spacing of fire hydrants</u>	<u>X</u>
<u>Location and type of all proposed surface water drainage facilities</u>	<u>X</u>
<u>Grading plan at no more than two (2) foot contour intervals</u>	<u>X</u>
<u>Proposed streets (including pavement width, materials and easement or</u>	
<u>right-of-way dimensions)</u>	<u>N/A</u>

Building Details

<u>Typical elevation views of all sides of each building</u>	<u>X</u>
<u>Gross and usable floor area</u>	<u>X</u>
<u>Elevation views of building additions</u>	<u>NA</u>
<u>Building height</u>	<u>X</u>

(1) Information Waiver. Specific requirements of either a Level “A” or “B” site plan may be waived by the Zoning Administrator where it is determined that such information is not applicable to the request.

(2) Additional Reports/Study: The Zoning Administrator or Planning Commission may require additional studies, reports or written opinions from qualified consultants to determine compliance with this ordinance or to ensure negative impacts to public health, safety and welfare are avoided or mitigated. These reports/studies may include, but are not limited to, traffic studies, transportation plans, geotechnical reports, flood hazard evaluations or environmental assessments. The Zoning Administrator or Planning Commission shall have the authority to choose the individual consultant, firm or company. The costs of additional study shall be paid for by the applicant.

Area, Height and Placement Requirements

<u>Maximum building height</u>	<u>26 feet</u>	<u>Proposed buildings are at 23.5 feet</u>
<u>Minimum Yard setbacks</u>	<u>front 15 feet</u>	<u>Proposed building is at 25 feet</u>
<u>Minimum Yard setbacks</u>	<u>side 10 feet</u>	<u>Proposed buildings are at 10/38 feet</u>
<u>Minimum Yard setbacks</u>	<u>rear 25 feet</u>	<u>Proposed building is at 25 feet, ADU is at 6 feet</u>

² Applicants are required to submit a grading and drainage plan, in accordance with the requirements of 153.230 through 153.239 of this chapter, demonstrating storm water can be contained and managed on the subject property if no municipal storm water system exists. If a municipal storm water system exists, the Director of Public Works, or consulting engineer representing the city, shall review the grading and drainage plan to determine if the existing infrastructure can adequately handle the storm water runoff. Applicants may be required to install storm water management features to mitigate impacts to the municipal storm water system.

Charlevoix County Building Department will review submitted Drainage Plan

V. SITE PLAN REVIEW:

The following section is taken directly from the Site Plan Review Section of the Zoning Ordinance. The Planning Commission must make findings of fact to determine if the proposal meets each of the following standards. The Planning Commission must find that this proposal meets all of the following standards based on findings of fact before considering a motion to approve or deny. Staff has written the following recommended findings of fact as a starting point. The Planning Commission may add, modify, or delete any of the following draft findings at the meeting. The draft findings are in *italics*.

153.235 Standards for Site Plan Approval: A site plan shall be approved only upon a finding of compliance with the following standards:

- A. The site plan must comply with all standards of this Article and all applicable requirements of this ordinance, as well as with all other applicable city, county, state and federal laws and regulations.

The Planning Commission finds that the site plan proposal complies with the Zoning Ordinance, which states that the parcel is zoned Residential 1 District. The following findings of fact will show that the site plan meets all other applicable laws and regulations.

- B. The site must be designed in a manner that is harmonious, to the greatest extent possible, with the character of the surrounding area.

The Planning Commission finds that the proposed development is harmonious with the character of the existing neighborhood. The proposed project will fit into the neighborhood which has both single family, duplexes and multifamily housing. This proposal is similar to the nearby developed properties following the same maximum height, setbacks and lot coverage as other single-family homes that exist.

- C. The site must be designed to minimize hazards to adjacent property and to reduce the negative effects of traffic, noise, smoke, fumes and glare to the greatest extent possible.

The Planning Commission finds that the proposal adds no hazards to adjacent properties. The plan shows one curb cut and driveway.

- D. The site plan does not have a negative impact on the provisions of human services, housing, transportation needs, and access to food in the community.

This development is infill on an existing parcel and will have no negative impact.

- E. The site plan protects the natural environment and conserves natural resources and energy to the extent possible in light of the proposed development.

The site plan proposes keeping all existing mature vegetation on the north side of the parcel.

- F. Unless a more specific design standard is required by the city through a different ordinance or regulation, all uses and structures subject to site plan review shall comply with the following design standards:

Traffic Circulation

(a) The site plan shall comply with the applicable zoning district requirements for minimum floor space, height of building, lot size, yard space, density and all other requirements as set forth in the City of Charlevoix Zoning Ordinance, unless otherwise provided.

Yes, see Area, Height and Placement Requirements above

(b) Vehicular and pedestrian circulation. Safe, convenient, uncontested, and well-defined vehicular and pedestrian circulation shall be provided for ingress/egress points and within the site. A pedestrian circulation system shall be provided and shall be as insulated as completely as reasonably possible from the vehicular circulation system. The number, location and size of access and entry points, and internal vehicular and pedestrian circulation routes shall be designed to promote safe and efficient access to and from the site, as well as circulation within the site. In reviewing traffic features, the number, spacing and alignment of existing and proposed access points shall be considered relative to their impact on traffic movement on abutting streets and adjacent properties.

(c) Walkways from parking areas to building entrances.

1. Internal pedestrian walkways shall be developed for persons who need access to the building(s) from internal parking areas and shall be designed to provide access from these areas to the entrances of the building(s)

Plan shows walkway from parking to the main entrances.

2. The walkways shall be designed to separate people from moving vehicles.

Meets standard

3. These walkways shall have a minimum width of five feet with no car overhang or other obstruction.

N/A Residential

4. The walkways must be designed in accordance with the Michigan Barrier Free Design Standards.

N/A Residential

5. The walkways shall be distinguished from the parking and driving areas by use of any of the following materials: special pavers, bricks, raised elevation or scored concrete. Other materials may be used if they are appropriate to the overall design of the site and building and acceptable to the review authority.

N/A Residential

Stormwater

Storm water retention and drainage systems shall be designed so the removal of surface water will not adversely affect neighboring properties or public storm water drainage systems. Unless impractical, storm water shall be removed from all roofs, canopies and paved areas by an underground surface drainage system. Low impact design solutions such as rain gardens and green roofs are encouraged.

Plan shows all stormwater staying on the property. Charlevoix County Building Department will review the stormwater plan to see that it follows the City of Charlevoix Stormwater Ordinance.

Snow Storage

Snow storage is shown on the north west part of the parcel.

Landscaping

The landscape plan provides for all required plantings. No significant grade changes are being proposed.

Screening

No screening is required. All adjacent uses are similar in nature.

Lighting

There is no exterior lighting proposed.

Utility Service

Plan shows upgrades to all utility connections. Electric Department has reviewed the plans and has no concerns.

Exterior uses

Plan shows no exterior uses. Mechanical equipment is proposed to be located inside the building. Rolling totes will be used and stored within the storage closet with doors to the outside.

Emergency Access

Proposed structure is accessible from three sides. Charlevoix Township Fire Chief has reviewed the plans and has no concerns.

Water and Sewer

Plan shows upgrades to water service. Public Works has reviewed the plans and has no concerns.

Signs

No signs have been proposed.

153.171 Landscaping

N/A Residential

153.173 Trash Receptacles

Common residential totes and cans will be used stored in the garages

153.173 Mechanical Equipment

All mechanical equipment will be installed indoors with the exception of standard AC units which will be screened from public view.

153.187 Parking Requirements and Limitations

Table 153.187: Parking and Access Requirements by Use

A total of 10 parking spaces. 2 spaces per dwelling unit as required for Residential, one and two family units

VI. CONDITIONS OF APPROVAL

The following section is taken directly from the Section 153.236 of the Zoning Ordinance. The PC may impose conditions of approval on the site plan based on the following criteria.

5.121. Conditions of Site Plan Approval.

Conditions which are designed to ensure compliance with the intent of this ordinance and other regulations of the City of Charlevoix may be imposed on site plan approval.

Conditions imposed shall be based on the following criteria:

- (1) Ensure that public services and facilities affected by the proposed land use and site plan will not be adversely affected.
- (2) Ensure that the Use is compatible with adjacent land uses and activities.
- (3) Protect natural resources, the health, safety, welfare and social and economic well-being of those who will use the land use or activity under consideration, residents and landowners immediately adjacent to the proposed land use or activity, and the community as a whole.
- (4) Ensure compatibility between the proposed use or activity and the rights of the city to perform its governmental functions.
- (5) Meet the intent and purpose of the zoning ordinance, be related to the regulations and standards established in the ordinance for the land use or activity under consideration and be necessary to ensure compliance with those standards.
- (6) Ensure compliance with the intent of other city ordinances that are applicable to the site plan.
- (7) Ensure compatibility with other uses of land in the vicinity.

Condition on review of condominium documents (Master Deed) by Zoning Administrator and City Attorney if needed to include:

- A street construction, paving and maintenance plan for all private streets.
- A utility plan showing all water and sewer lines and easements granted to the appropriate jurisdiction for installation, repair and maintenance of all utilities;
- *Incorporation of approved provisions in master deed.* All provisions of a final site condominium development plan which are approved by the Planning Commission, as provided by this section, shall be incorporated by reference in the master deed for the site condominium project.

Planning Commission Recommendation to City Council: (choose one)

- A. **Approve** Project 2024-3 SPA **without conditions**, based on specific findings of fact that prove the project does meet the review standards in Section 153.235

- B. **Approve** Project 2024-3 SPA **with conditions**, based on specific findings of fact that prove the project does meet the review standards in Section 153.235
- C. **Deny** Project 2024-3 SPA based on specific findings of fact that prove the project does not meet the review standards in Section 153.235
- D. **Table** the decision on Project 2024-3 SPA. (Usually, this option is only used when additional information is needed to assist the Planning Commission in making the decision.

Charlevoix Planning Commission

New Business

Title: Sign Lighting Discussion

Date: October 14, 2024

Presented By: Jonathan Scheel, Zoning Administrator

Background:

Sign lighting has been on the Planning Commission's priority list for the 2024/25 planning year. The Planning Commission recently approved sign lighting ordinance changes along with a general lighting ordinance change. The changes may have been lost in the larger document. I have prepared a document showing the existing sign lighting ordinance language and the newly approved language. I also included a comparison of the existing and proposed changes.

Recommendation:

Review, discuss, make changes as necessary

Attachments:

1. Sign lighting
2. Sign lighting comparison

Existing

153.207 SIGN STANDARDS FOR ALL SIGNS.

(D) *Illumination and lighting.*

(1) For the safety of the general public, no unshielded lights, or lights directed upward or horizontally at sign faces, flashing lights, scrolling or moving electronic lights, or other distractive devices may be used in conjunction with any sign or business.

(2) Each sign, which is artificially illuminated, shall have the light source shielded from the direct vision of individuals using adjacent roadways, properties, or sidewalks.

(3) Signs shall not emit light directly into the sky. The light source shall not be positioned so that the center of the light source exceeds more than 45 degrees from ground level.

(4) Illumination by bare bulbs or flames is prohibited.

(5) Underground wiring shall be required for all illuminated signs that are not attached to a building.

(6) External neon signs no larger than two square feet in sign face area are allowed in the GC (General Commercial), CBD (Central Business District) and CH (Commercial Hospitality) Zoning Districts only.

New ordinance language replaces in whole current language

(D) *Illumination and lighting.*

1. Externally lit signs shall be illuminated only with steady, stationary, shielded light sources directed solely onto the sign without causing glare, no unshielded lights, or lights directed upward or horizontally at sign faces, flashing lights, scrolling or moving electronic lights, or other distractive devices may be used in conjunction with any sign or business.

2. Light bulbs or lighting tubes used for illuminating a sign shall not be visible from adjacent public rights-of-way or residential properties. Illumination by bare bulbs or flames is prohibited.

3. External illumination for signs shall conform to all provisions of Outdoor lighting.

Such lighting shall be treated as Class 1 lighting and shall conform to the lamp and shielding restrictions and lumen caps.

4. The intensity of sign lighting shall not exceed that necessary to illuminate and make legible a sign from the adjacent travel way or closest right-of-way; and the illumination of a sign shall not be obtrusive to the surrounding area as determined by the Zoning Administrator.

5. The fixtures used to illuminate signs shall not be directed toward nearby residential properties.

6. Internally illuminated signs are permitted in certain circumstances as follows:

- a. Individual back-lit letters which are silhouetted against a softly illuminated wall.
- b. Individual letters with translucent faces, containing soft lighting elements inside each letter.
- c. Metal-faced box signs with cut-out letters and soft-glow fluorescent tubes.

7. Fluorescent lights shall be allowed for indirect illumination when placed in such a manner that the light tubes are not exposed to view from the public right-of-way or sidewalk.
8. A sign may be illuminated during the hours of operation of the facility being identified or advertised or until 11:00 p.m., whichever is later.
9. Such signs shall provide an automatic timer to comply with the intent of this section.
10. Illumination of off-premises signs is prohibited, except in the case of off-premises kiosks which are subject to the provisions of this Code.
11. a. Ground-mounted sign lighting is not permitted for freestanding signs on poles, where open space is visible from the bottom of the sign to the ground. The Zoning Administrator may approve ground mounted lighting for freestanding signs which are constructed in such a way that no open space is visible from the bottom of sign to the ground (such as solid base, landscaping).
- b. All ground-mounted lights shall be placed in such a manner that the angle of the lamp shall not be greater than 45 degrees measured from a horizontal plane to a line projected through the center of the lamp, and fixtures shall be fully shielded to contain and direct the light onto the sign only. All upward-directed sign lighting is prohibited.
12. Underground wiring shall be required for all illuminated signs that are not attached to a building.

Sign lighting comparison of current ordinance to the proposed ordinance.

Current language is first, proposed is second in *italics*.

1. (1) For the safety of the general public, no unshielded lights, or lights directed upward or horizontally at sign faces, flashing lights, scrolling or moving electronic lights, or other distractive devices may be used in conjunction with any sign or business.

1. Externally lit signs shall be illuminated only with steady, stationary, shielded light sources directed solely onto the sign without causing glare, no unshielded lights, or lights directed upward or horizontally at sign faces, flashing lights, scrolling or moving electronic lights, or other distractive devices may be used in conjunction with any sign or business.

2. (2) Each sign, which is artificially illuminated, shall have the light source shielded from the direct vision of individuals using adjacent roadways, properties, or sidewalks.

2. Light bulbs or lighting tubes used for illuminating a sign shall not be visible from adjacent public rights-of-way or residential properties. Illumination by bare bulbs or flames is prohibited.

3. (3) Signs shall not emit light directly into the sky. The light source shall not be positioned so that the center of the light source exceeds more than 45 degrees from ground level.

11 b. All ground-mounted lights shall be placed in such a manner that the angle of the lamp shall not be greater than 45 degrees measured from a horizontal plane to a line projected through the center of the lamp, and fixtures shall be fully shielded to contain and direct the light onto the sign only. All upward-directed sign lighting is prohibited.

4. (4) Illumination by bare bulbs or flames is prohibited.

2. Light bulbs or lighting tubes used for illuminating a sign shall not be visible from adjacent public rights-of-way or residential properties. Illumination by bare bulbs or flames is prohibited.

5. (5) Underground wiring shall be required for all illuminated signs that are not attached to a building

12. Underground wiring shall be required for all illuminated signs that are not attached to a building.

6. (6) External neon signs no larger than two square feet in sign face area are allowed in the GC (General Commercial), CBD (Central Business District) and CH (Commercial Hospitality) Zoning Districts only.

REMOVED

Additional language added in proposed changes

3. *External illumination for signs shall conform to all provisions of Outdoor lighting. Such lighting shall be treated as Class 1 lighting and shall conform to the lamp and shielding restrictions and lumen caps.*
4. *The intensity of sign lighting shall not exceed that necessary to illuminate and make legible a sign from the adjacent travel way or closest right-of-way; and the illumination of a sign shall not be obtrusive to the surrounding area as determined by the Zoning Administrator.*
5. *The fixtures used to illuminate signs shall not be directed toward nearby residential properties.*
6. *Internally illuminated signs are permitted in certain circumstances as follows:*
 - a. *Individual back-lit letters which are silhouetted against a softly illuminated wall.*
 - b. *Individual letters with translucent faces, containing soft lighting elements inside each letter.*
 - c. *Metal-faced box signs with cut-out letters and soft-glow fluorescent tubes.*
7. *Fluorescent lights shall be allowed for indirect illumination when placed in such a manner that the light tubes are not exposed to view from the public right-of-way or sidewalk.*
8. *A sign may be illuminated during the hours of operation of the facility being identified or advertised or until 11:00 p.m., whichever is later.*
9. *Such signs shall provide an automatic timer to comply with the intent of this section.*
10. *Illumination of off-premises signs is prohibited, except in the case of off-premises kiosks which are subject to the provisions of this Code.*
11. a. *Ground-mounted sign lighting is not permitted for freestanding signs on poles, where open space is visible from the bottom of the sign to the ground. The Zoning Administrator may approve ground mounted lighting for freestanding signs which are constructed in such a way that no open space is visible from the bottom of sign to the ground (such as solid base, landscaping).*

Charlevoix Planning Commission

New Business

Title: Rooftop Decks, Ground Decks and Patio Discussion

Date: October 14, 2024

Presented By: Jonathan Scheel, Zoning Administrator

Background:

The Planning Commission put rooftop decks/decks on the 2024/25 priority list for review. It has been a few years since the existing rooftop deck ordinance was put in place. The original ordinance was put in place as a result of the "Earl's" new rooftop deck. One residential rooftop deck has been built in the Central Business District since and is recently in use. I have included the current ordinance language regarding decks. I offer one minor change removing the word "patio" in the section dealing with decks.

Recommendation:

Discuss, make necessary changes as needed.

Attachments:

1. Rooftop decks

Existing ordinance language

153.005 DEFINITIONS.

DECK. A structure, which may be directly attached to a dwelling, without a roof or walls, except for railings, that is constructed on piers or an above-grade foundation wall and used as an outdoor living area.

DECK, ROOF TOP. A finished surface constructed above any top plate of a structure without a roof or walls, except for railings, and which is designed to function as useable outdoor area for human activity.

153.118 LODGING, DINING AND ENTERTAINMENT USES.

(C) *Restaurant with outdoor seating.*

(1) Restaurants providing outdoor seating within an **at-grade deck or patio or a roof top deck**, must first acquire a zoning and building permit from the city and Charlevoix County Building Department.

(2) All structures would be subject to review by the Zoning Administrator and shall meet the requirements of this chapter.

(3) Restaurant outdoor seating shall be allowed only during normal operating hours of the establishment.

(4) If alcoholic beverages are to be served, the current Liquor Control Commission rules and regulations shall apply.

(5) Any music or sound that would violate the city's noise ordinances and restrictions is prohibited.

(6) Lighting shall be shielded and pointed downward and shall not be a nuisance to adjacent properties subject to § [153.172](#).

(7) Outdoor seating space is subject to the requirements of Off-Street Parking, Loading, Access and Circulation.

(D) **Roof top decks.** The following provisions are intended to regulate roof top deck use, permanent or temporary, in all districts to reduce safety concerns, noise and other nuisances, and visual impact on neighboring properties and on the community generally. The use **of roof top decks** is subject to the following restrictions:

(1) A zoning and building permit for any **roof top deck** must be first obtained from the City Zoning Administrator and Charlevoix County Building Department and is subject to construction of and maintenance of guardrails and other protective features as required by the Charlevoix County Building Code.

(2) Any request for a City of Charlevoix zoning permit that includes a **roof top deck** must undergo site plan review and receive approval by the Planning Commission prior to issuance of a zoning permit.

(3) Parapet walls and perimeter guardrails shall extend around the perimeter of **the roof top deck** and incorporate exterior building materials consistent with the architectural style of the underlying structure subject to § [153.170](#).

(4) Any structure on a **deck or patio** must be permitted under the Zoning Code. Portable appurtenances are prohibited. Temporary appurtenances and structures are subject to site plan review to assure public safety.

(5) Except within the CBD, Central Business District, amplified musical instruments or sounds are prohibited. Any other music or sound that would violate the city's noise ordinances and restrictions is prohibited.

- (6) All commercial food preparation shall take place inside the establishment.
- (7) No open flames are allowed.
- (8) Lighting shall be shielded and pointed downward and shall not be a nuisance to adjacent properties subject to § [153.172](#).
- (9) **Roof top deck space** is subject to the requirements of §§ [153.185](#) et seq., Off-Street Parking, Loading, Access and Circulation.



To: The City of Charlevoix Planning Commission
From: Jonathan Scheel, Zoning Administrator
Subject: Zoning Administrator's Report re: thru September 2024

Permits Issued in 2024

Following are two types of breakdowns for all permits issued by the zoning office so far in 2024:

<u>By month</u>	<u>By type</u>
January6	Banner permits35
February4	Fence permits17
March10	Sidewalk café/use9
April20	Sign5
May18	Zoning.....27
June.....15	Use.....4
July.....8	Parcel Division.....2
August15	
September.....5	
October.....	
November.....	
December	

The fence, sign & zoning permits break down into the following zoning districts:

Central Business District (CBD).....4
Commercial Mixed (CM).....4
General Commercial (GC)1
Industrial
Marine Commercial (MC)1
Residential Private Club (PC)
Public Facilities
R-120
R-214

Level A Site Plan Administrative Review

None

Level B Site Plan Reviews / Special Use Permits

Variances to Zoning Board of Appeals

Other activities

The department is now online with enforcement software. Enforcement complaints can be made online by citizens. I will get notified automatically and my enforcement officer or I can respond to the citizen electronically by email, text or phone. The software compiles all complaints and outcomes.

All STR licenses are going back to online registration after two years of sporadic online licensing. We are now using Civic Plus as we use them for Recreation Department program reservations, meeting agendas and other needs.